



Tasman District Council

189 Queen Street, Richmond 7020

building.support@tasman.govt.nz

03 543 8400

BC200322

Alpha ID: 200322

Application Type: Building Consent

Site Address: 31 Pineview Way, Motueka Valley

Project Description: Addition of bathroom to sleepout

Project Status: Code Compliance Certificate Issued

Table of Contents

Lodged Documents

Form 2: Application for Building Consent only	1
PLG 1 Application	5

Vetting

Request For Further Information - Vetting 1	7
Vetting Audit Checklists	8

Processing

Request For Further Information 1	10
Processing Audit Checklists	12

Building Consent

Form 5: Building Consent	30
Stamped_Documents_-_APPROVED-PL.pdf	34
Stamped_Documents_-_APPROVED-SP.pdf	38

Inspections

Inspection Report 2 - Wastepipes - Framing Pre-wrap - Preline - Post Line - Drainag...	82
Inspection Report 1 - Wastepipes - Framing Pre-wrap - Preline - Post Line - Drainag...	85
Inspections Audit Checklists	88

CCC Documents

Required Documents Audit	101
--------------------------	-----

Code Compliance Certificate

Form 6: Application for Code Compliance Certificate	104
Form 7: Code Compliance Certificate	106

Emails

Email_200322_Re_BC200322.1_Request_For_Further_Information_-_Ve_20200406.pdf	108
Email_200322_RE_BC200322_31_Pineview_Way_Motueka_Valley_20200429.pdf	110
Email_200322_Re_BC200322.1_Request_For_Further_Information_-_31_20200501.pdf	112
Email_200322_Re_BC200322_31_Pineview_Way_Motueka_Valley_-_Alpha_20210128.pdf	114
Email_200322_FW_Bc_200322_20210303.pdf	116

Sent Emails

Email_200322_BC200322.1_Request_For_Further_Information_-_Vetti_20200403.pdf	117
Email_200322_RE_Re_BC200322.1_Request_For_Further_Information_-_20200406.pdf	119
Email_200322_BC200322_A_new_email_has_been_allocated_to_you_20200406.pdf	121
Email_200322_Application_Accepted_20200406.pdf	122
Email_200322_BC200322_A_new_job_for_you_20200407.pdf	123

Email_200322_BC200322_A_new_job_for_you_20200428.pdf	124
Email_200322_BC200322_A_new_job_for_you_20200429.pdf	125
Email_200322_BC200322_31_Pineview_Way_Motueka_Valley_20200429.pdf	126
Email_200322_RE_RE_BC200322_31_Pineview_Way_Motueka_Valley_20200429.pdf	127
Email_200322_BC200322_A_new_email_has_been_allocated_to_you_20200430.pdf	129
Email_200322_BC200322.1_Request_For_Further_Information_-_31_Pi_20200430.pdf	130
Email_200322_RE_Re_BC200322.1_Request_For_Further_Information_-_20200501.pdf	132
Email_200322_BC200322.1_Form_5_Building_Consent_-_31_Pineview_W_20200501.pdf	134
Email_200322_BC200322_31_Pineview_Way_Motueka_Valley_-_AlphaOne_20210128.pdf	135
Email_200322_RE_Re_BC200322_31_Pineview_Way_Motueka_Valley_-_Al_20210128.pdf	136
Email_200322_BC200322_A_new_Document_for_you_20210202.pdf	137
Email_200322_BC200322_A_new_email_has_been_allocated_to_you_20210303.pdf	138
Email_200322_BC200322_31_Pineview_Way_Motueka_Valley_20210303.pdf	139
Email_200322_BC200322_Document_Rejected__Address_31_Pineview_Wa_20210308.pdf	140
Email_200322_BC200322_Inspection_Report_20210311.pdf	141
Email_200322_BC200322.1_Form_7_Code_Compliance_Certificate_-_31_20210311.pdf	142

File Notes

File Notes Log	143
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Date Submitted: Thursday, 02 April 2020



Form 2

Application for project information memorandum and/or building consent

Section 33 or section 45, Building Act 2004

The building

Street address of building:	31 Pineview Way Tasman 7196
Legal description of land where building is located:	Lot 10 DP519728
Building name:	Main Building
Location of building within site/block number:	31 Pineview Way Tasman 7196
Number of levels:	No information provided
Level/unit number:	No information provided
Area:	Total: 17.30 m2, Change: Not provided
Current, lawfully established, use:	2.0 Housing: 2.0.2 Detached Dwelling
Year first constructed:	2020

The owner

Name of owner:	Toni Evans
Mailing address:	31 Pineview Way Rd1 7196
Street address/registered office:	No information provided
Phone number:	Landline: 0211103643 Mobile: N/A
Daytime:	Landline: 0211103643 Mobile: N/A
After hours:	Landline: 0211103643 Mobile: N/A
Facsimile number:	No information provided
Email address:	N/A
Website:	No information provided

The following evidence of ownership is attached to this application:

1. Title_for_consent_2.pdf (1.19M)

Agent

Name of agent: Greg Benjamin
 Contact person: Greg Benjamin
 Mailing address: 30 Citrus Lane
 Enner Glynn
 Nelson
 7011
 Street address/registered office: N/A
 Phone number: Landline: 0211449153 Mobile: 0211449153
 Daytime: Landline: 0211449153 Mobile: 0211449153
 After hours: Landline: 0211449153 Mobile: 0211449153
 Facsimile number: No information provided
 Email address: gregsdesign@outlook.com
 Website: No information provided
 Relationship to owner: Application made on owners behalf
 First point of contact for communications with the council/building consent authority:
 Full name: Greg Benjamin
 Mailing address: 30 Citrus Lane
 Enner Glynn
 Nelson
 Nelson 7011
 Phone number(s): 0211449153
 Facsimile number(s): N/A
 Email address(es): gregsdesign@outlook.com

Application

I request that you issue a building consent for the building work described in this application.

Signature of agent on behalf of and with the authority of the owner:

GREG BENJAMIN

Date: 2 Apr 2020

space for council use

Application Type: Building Consent only
 Reference Key: 04224456BB
 Name: Greg Benjamin
 Application Role: Agent

The project

Description of the building work:

Adding a bathroom to existing sleepout

Will the building work result in a change of use of the building? No

Intended life of the building if less than 50 years: 50 years

List building consents previously issued for this project (if any): No information provided

Estimated value of the building work on which the building \$5,000

levy will be calculated (including goods and services tax):

Restricted building work

Will the building work include any restricted building work? Yes

If Yes, provide the following details of all licensed building practitioners who will be involved in carrying out or supervising the restricted building work:

Name	Gregory Benjamin
Licensing class	Design
Licensed building practitioner number (or registration number if treated as being licensed under section 291 of Act)	BP105877

Building consent

The following plans and specifications are attached to this application:

1. 31_Pineview_Way-Sleepout_amd-Plans.pdf (356.18K)
2. 31_Pineview_Way-Sleepout_bathroom_amd.pdf (11.03M)

The building work will comply with the building code as follows:

Main Building

B1 - Structure	AS1
B2 - Durability	AS1
C1 - C6 - Protection from Fire (current)	AS1
D1 - Access Routes	AS1
E3 - Internal Moisture	AS1
F2 - Hazardous Building Materials	AS1
G1 - Personal Hygiene	AS1
G4 - Ventilation	AS1
G5 - Interior Environment	AS1
G7 - Natural Light	AS1

G8 - Artificial Light	AS1
G9 - Electricity	AS1
G13 - Foul Water	AS1
Waiver / Modification Required:	N/A

Compliance schedule

There are no specified systems associated with this project.

Attachments

The following documents are attached to this application:

Plans and specifications

1. 31_Pineview_Way-Sleepout_amd-Plans.pdf (356.18K)
2. 31_Pineview_Way-Sleepout_bathroom_amd.pdf (11.03M)

Record of title

1. Title_for_consent_2.pdf (1.19M)

Date Submitted: Thursday, 02 April 2020

FORM PLG 1

National Environmental Standard (NES) for Assessing and Managing Contaminants in Soil to Protect Human Health

For assistance in answering these questions please refer to (PLG 1A)

Please note that any inaccuracies may result in the applicant being in breach of the Resource Management Act 1991 and/or exposed to liability if the site is subsequently found to be contaminated, including being liable for remedial works.

Is the building work and all associated activities:

Changing the use of the land?

NO

(Please note that "changing the use of the land" includes erecting a dwelling on an area of land which previously had no dwelling erected upon it.)

Disturbing soil?

NO

*(more than 25m³ per 500m² of land) or removing soil? (more than 5m³ per 500m² of land)
(e.g.: foundations, on-site effluent treatment and disposal systems, wells or bores)*

For more information on this process please contact the Duty Planner on (03) 543 8400 or go the Ministry for the Environment website: <http://www.mfe.govt.nz/laws/standards/contaminants-in-soil/>

**Signature**

The name below as AGENT has the authority for the application to proceed to processing and accept the associated charges.

Signed By:

Greg Benjamin

2 Apr 2020

The Agent will be the first point of contact for communications with the Council/Building Consent authority regarding this application / building work and will receive all correspondence including all invoices.

03 April 2020

Dear Sir/Madam

REQUEST FOR FURTHER INFORMATION - VETTING

REFERENCE: BC200322

LOCATION: 31 Pineview Way, Motueka Valley

PROJECT: Addition of bathroom to sleepout

We have received and vetted your application and require the following information in order to commence processing.

Application Form

Your application cannot not be accepted as lodged and we will not be able to begin processing until the following information is provided:

a) Please provide a contact email address for the owner as you have listed them to pay associated building consent fees

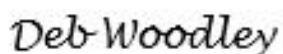
Deposit / Fee

Please arrange payment of the deposit fee to complete the s45 lodgement process. The deposit for the application is \$500.00. Bank Details and payment reference number are shown at the bottom of the email.

Please respond in full to this request, within 10 working days, as we cannot formally accept your application until adequate information is received and your application may be refused.

If we have overlooked any of the information, please advise its location so that it can be re-checked. Should you have any queries regarding this letter, please reply to this email or phone our Duty Building Officer on 03 543 8400.

Yours sincerely



Debbie Woodley

Building Support Officer - Building Assurance
On behalf of Tasman District Council

BC200322 | 05 Oct 2022

Vetting Started Date: 02/04/2020 03:53 pm

Vetting Completed Date: 06/04/2020 04:13 pm

Vetting Status: Completed

Complexity: Detached Dwelling - AUDIT	Y/N	User	Date	Notes
Application Form : Has the application form been properly completed?	N	DWy	02/04/2020 04:26 pm	Your application cannot not be accepted as lodged and we will not be able to begin processing until the following information is provided: a) Please provide a contact email address for the owner as you have listed them to pay associated building consent fees
	VRFI	DWy	03/04/2020 11:14 am	Your application cannot not be accepted as lodged and we will not be able to begin processing until the following information is provided: a) Please provide a contact email address for the owner as you have listed them to pay associated building consent fees
	Y	DWy	06/04/2020 04:13 pm	The application form is correctly completed. Owner email address now provided.
Deposit / Fee: Has the appropriate deposit / fee been paid?	N	DWy	02/04/2020 04:26 pm	Please arrange payment of the deposit fee to complete the s45 lodgement process. The deposit for the application is \$500.00. Bank Details and payment reference number are shown at the bottom of the email.
	VRFI	DWy	03/04/2020 11:14 am	Please arrange payment of the deposit fee to complete the s45 lodgement process. The deposit for the application is \$500.00. Bank Details and payment reference number are shown at the bottom of the email.
	Y	DWy	06/04/2020 04:13 pm	Deposit requested
Evidence of Ownership / Owner's Permission: Has the applicant provided a current Record of Title or evidence of ownership that is in the owner's name; OR if the application has been submitted by an agent is owner's permission provided? If Title is not yet available a subdivision scheme plan is required. If the legal description for subdivision is not available please ensure that the parent title is recorded on the application.	Y	DWy	02/04/2020 04:28 pm	Current evidence of ownership provided. A consent notice is listed on the title but felt that as only internal alteration it would not be required.
LBP Details / Certificate of Work / Statutory Notice: If the proposal includes Restricted Building Work then is the application accompanied by: (a) names of each LBP involved AND; (b) Certificate of Work OR (c) Statutory Declaration? Select N/A if the application does not include Restricted Building Work.	Y	DWy	03/04/2020 11:07 am	LBP Names are provided Certificate of Work is provided
Ground Condition / Geotechnical Report: Has a ground condition report been provided? This should be provided by a Chartered Engineer or qualified Geotechnical Engineer if conditions other than "good ground" exist.	N/A	DWy	03/04/2020 11:07 am	This question does not apply to this project.
Resource Management Information: Does RMA information include a plan showing site and land information with details site coverage, floor areas for each level of each building, and with elevations depicting recession / daylight planes and height compliance? Select N/A if the application does not require RMA input.	Y	DWy	03/04/2020 11:07 am	Plans show: a) site and land information b) details site coverage, c) floor areas for each level of each building.
Construction over an Easement: Has the building been located to ensure that it will not be constructed over an easement?	N/A	DWy	03/04/2020 11:07 am	This question does not apply to this project.
Site Plans: Do site plans provide sufficient information to enable a compliance decision?	Y	DWy	03/04/2020 11:09 am	The site plans provide sufficient information.
Floor Plans: Do floor plans provide the requisite information to enable a compliance decision? (ensure information includes the location of smoke detectors and electrical layout)	Y	DWy	03/04/2020 11:10 am	Plans show the layout and smoke detector location. No change to number of bedrooms in dwelling or sleepout therefore I dont believe I am required to request full layout of dwelling.
Elevations: Is sufficient information provided to enable a compliance decision?	Y	DWy	03/04/2020 11:12 am	Elevations provide sufficient information to enable a compliance decision - only change is replacing window with SG therefore dont believe risk matrix required.

VETTING CHECKLIST - MAIN BUILDING - R1 Complexity: Detached Dwelling - AUDIT		Y/N	User	Date	Notes
Bracing Detail: Is sufficient bracing information provided to enable a compliance decision?	Y	DWy	03/04/2020 11:12 am	Sufficient bracing information is provided to enable a compliance decision.	
Roof Frame Detail: Is sufficient information provided to enable a compliance decision?	N/A	DWy	03/04/2020 11:12 am	This question does not apply to this application.	
Construction & Weathertightness Detailing: Is sufficient detail provided to enable a compliance decision?	N/A	DWy	03/04/2020 11:12 am	This question does not apply to this application.	
Waterproofing Details: Is there sufficient waterproofing information to enable a compliance decision?	N/A	DWy	03/04/2020 11:13 am	This question does not apply to this project. Proprietary shower being installed.	
Plumbing & Drainage Detailing: Is sufficient plumbing and drainage information provided to enable a compliance decision?	Y	DWy	03/04/2020 11:13 am	Sufficient information is provided to enable a compliance decision.	
Specifications: Are specifications project specific and do they identify project location, scope of work for each trade, materials, finishes, workmanship; and the appropriate Standards that apply to this project?	Y	DWy	03/04/2020 11:13 am	Adequate information is provided.	
Hazardous Substances: If storage and use of hazardous substances occurs in this building then are the hazards identified along with the location and quantities that are proposed to be stored?	N/A	DWy	03/04/2020 11:13 am	There is no declaration of hazardous substances associated with this project.	
Approvals from Other Authorities: Does this application involve approvals from other Authorities; and if so have these been provided?	N/A	DWy	03/04/2020 11:13 am	This question does not apply to this project.	
Engineer Verification: Is Specific Engineer Design (SED) accompanied by sufficient information to enable a compliance decision?	N/A	DWy	03/04/2020 11:13 am	No SED or Calcs associated with this work.	
Energy Efficiency: Does information provided demonstrate how H1 energy efficiency provisions have been met?	N/A	DWy	03/04/2020 11:13 am	This question does not relate to this project.	
Compliance Schedule: Do plans identify the location of all specified systems within the building, and have inspection and maintenance procedures and Standards for inclusion on the compliance schedule been provided? An R1 or R2 building that is used wholly as a single household unit will only require a compliance schedule if it has a cable car attached to it or servicing it. Select N/A if the building is R1 or R2 and does not have a cable car attached (ref. BA sec. 100 (2).)	N/A	DWy	03/04/2020 11:13 am	There is no CS associated with this project.	
Solid Fuel Appliance: Is adequate documentation provided?	N/A	DWy	03/04/2020 11:13 am	This question does not apply to this project.	
Liquid Fuel Appliance: Is adequate documentation provided?	N/A	DWy	03/04/2020 11:13 am	This question does not apply to this project.	
Solar Water Heating System: Is adequate, quality documentation provided to enable lodgement?	N/A	DWy	03/04/2020 11:13 am	This question does not apply to this project.	
Swimming / Spa Pool: Does the information provided include construction details, fencing and gate latch details and details about the back-flow location and type?	N/A	DWy	03/04/2020 11:14 am	This question does not apply to this project.	
Swimming Pool Register: The Applicant has identified that there is a Swimming Pool on this site. Please tick to confirm that the Swimming Pool is identified on the Council Swimming Pool Register.	N/A	DWy	03/04/2020 11:14 am	The owner has identified that there is not a swimming pool on this site.	
Relocate Building: Has a building condition report identifying the current condition of the structure, been provided by a suitably qualified person? Please ensure that photos of all elevations are attached to the report.	N/A	DWy	03/04/2020 11:14 am	This question does not apply to this project.	

30 April 2020

Samuel McLeod and Toni Evans
PO Box 316
Motueka 7196

Dear Samuel McLeod and Toni Evans

REQUEST FOR FURTHER INFORMATION

REFERENCE: BC200322

LOCATION: 31 Pineview Way, Motueka Valley

PROJECT: Addition of bathroom to sleepout

Your building consent application has been assessed and the following information or clarification is required in order to demonstrate compliance with the Building Act 2004.

The 20 day statutory clock is currently suspended awaiting a full response to all items below:

Main Building

G4: Ventilation - Residential

Performance Clause G4.3.3 requires that the building has a means of collecting or otherwise removing the following products from the spaces in which they are generated:

(c) Odors from sanitary and waste storage spaces,

Consent documentation fails to demonstrate this. Please provide information for mechanical extraction to the shower in accordance with the requirements of G4/AS1 section 1.2.5

G12: Water Supply

Performance Clause G12.3.5 requires that that sanitary fixtures and sanitary appliances will be provided with hot water when intended to be used for: utensil washing; and personal washing, showering or bathing.

The drainage plan indicates the hot water supply from the dwelling is to be extended to the sleepout. Please supply confirmation/information regarding the pipe length required, and confirm the requirements of G12/AS1 table 4 can be adhered to (Maximum pipe length of 20 metres)

G13: Foul Water

Within your drainage plan, please provide provision for venting of the WC in accordance with the requirements of G13/AS1 table 5.

Ensure all items are addressed in a single response, and that this includes:

- A covering note outlining the response to each item
- Revised documents that clearly identify changes (e.g. referenced by revision clouds and document versions)
- Files that are in PDF format and to scale
- Only provide information specifically relating to this project

Please respond to this request within 20 working days or we may refuse to grant the consent. If you have any questions please contact me on 03 543 8400.

The 20 day statutory clock will be re-started when all the items above have been fully addressed.

You may receive requests for further information from other areas of Council, and these should be addressed separately to this request.

Yours sincerely

Lori Marevich

Building Technical Officer - Contractor
On behalf of **Tasman District Council**

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
BUILDING ACT					
BC Complexity / Competence (Reg 10 & 18 of BCA Regs 2006): Has the correct building complexity and classified use been allocated to this project and is it within the scope of your assessed competence? Do not select X or N/A. If complexity is incorrect please rectify by selecting the correct checklist (under Manage Buildings). If processing of this project is to be undertaken under supervision then ensure that this is recorded in the file notes..	Y	LMh	29/04/2020 02:09 pm	Complexity is correctly assigned and I have the requisite level of competence to undertake this task. R1 allocated - proposal is to add bathroom to existing sleepout only. Simple low risk work. I have sufficient capacity to complete the processing without supervision.	
Section 28: Warning and Bans: Can the building consent authority exercise its powers under BA s28 and issue building consent for the building work relating to this building consent? Please do not select N/A for this question.	Y	LMh	29/04/2020 02:10 pm	There are no warnings or bans posted on the Ministry's Warnings and Bans register that pertain to methods or building products used in this consent. Therefore in terms of section 28 of the Building Act; the building consent authority may exercise its powers to issue building consent for the building work relating to this building consent.	
Section 36: Development Contribution: Has a Development Contribution Notice been attached to the PIM? Please select N/A if a Development Contribution Notice is not required to be issued.	N/A	LMh	29/04/2020 02:10 pm	There is no development contribution required for this project.	
Section 37: Resource Consent: Has a Resource Consent Certificate (Form 4) been attached to the PIM and have all conditions that affect issue of this building consent been satisfied? Please select N/A if Resource Consent is not required.	N/A	LMh	29/04/2020 02:10 pm	The TA has not advised that a resource consent is required for this project.	
Section 67 - 69: Waiver / Modifications: Is adequate reasoning for request for waiver / modification provided, and have associated legal obligations been satisfied? Please select N/A if Waiver or Modification is not required.	N/A	LMh	29/04/2020 02:10 pm	There is no request for waiver or modification associated with this building consent application.	
Section 71 - 74: Natural Hazards: Have provisions of Sections 71 - 74 been considered, and can building consent be granted? MBIE has advised that seismic events do not fit within the definition of natural hazards.					
Section 71 - 74: Natural Hazards - Prompt List:	N/A	LMh	29/04/2020 02:10 pm	This question does not apply to this application.	
1. Natural Hazards: Is the land on which building work is to occur free from natural hazards such as: Erosion (coastal, bank, sheet erosion), Falling debris (soil, rock, snow, ice), Subsidence, Inundation (flooding, overland flow, storm surge, tidal effects, ponding), Slippage? Please select N/A if the hazard has been already mitigated and/ or if the title has already been endorsed to reflect the presence of hazard/s.					
2. Degradation: Is it unlikely that building work will likely accelerate, worsen, or result in a natural hazard occurring?					
3. Mitigation: If existing natural hazard/s exist, then is adequate mitigation provided to protect land, building work, or other property from the hazard/s?					
4. Evidence: If existing natural hazard/s exist, then does the consent documentation adequately demonstrate provision is or will be made to restore any damage to the land or other property as a result of the building work?					
5. Conditions: Where building consent is to be issued under section 72, then have all the conditions required under section 73 been completed and all notifications been made; and does a copy of any PIM that has been issued and that relates to this project accompany such notification?					
Section 75 - 83: More than 1 Allotment: Is the building constructed on more than one allotment, and if so, have the provisions of sections 75 - 83 been satisfied? Please select N/A if building work is only on one allotment.	N/A	LMh	29/04/2020 02:10 pm	The building is located on a single allotment therefore this question is not applicable.	
Section 84 - 89: Restricted Building Work: Has the applicable restricted building work been properly identified, and have the names of owner-builders, and/or licensed building practitioners that are supervising or carrying out such work been notified to the BCA?					
Section 84 - 89: Restricted Building Work - Prompt List:	N/A	LMh	29/04/2020 02:11 pm	This question does not apply to this application.	
1. Is the design certificate/s correctly completed and is the scope of each practitioners work clearly identified?					

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT	Y/N	User	Date	Notes
2. Do the applicable LBP's that are nominated or involved in the project hold current and correct classes of license?				
3. If restricted work is intended to be carried out by the Owner/Builder, then has the statutory declaration as to Owner/Builder status been provided?				
4. If the building work relates to fire safety systems of small to medium apartments then does the designer have the appropriate design license class for this work?				
Supplementary Processing Notes:		LMh	29/04/2020 02:11 pm	Proposal is to add a bathroom to an existing sleepout. Existing window to be reused. No structural works or weather tightness works proposed. Not restricted building work.
Section 96: COA or Other Incompleted Building Consents: Are there any COA's or incomplete building consents associated with this project?	N/A	LMh	29/04/2020 02:48 pm	Previous BC noted on this property has had CCC issued. No outstanding BC's noted on file.
Section 112 (1): Alterations to Buildings: If the proposal involves alteration to an existing building, then does the solution demonstrate on reasonable grounds that after alteration the building will comply, as nearly as is reasonably practicable with provisions that relate to: Select N/A if the proposal is not an alteration to an existing building.				
Section 112 (1): Alterations to Buildings - Prompt List:	<u>Y</u>	<u>LMh</u>	<u>29/04/2020 02:15 pm</u>	
(i) Means of escape from fire	Y	LMh	29/04/2020 02:15 pm	Reasonable grounds exist to demonstrate that provisions of s112 (1)(i) relating to means of escape from fire are satisfied. DEOP will remain under 25m as a result of the alterations to the existing building.
(ii) Access & facilities for people with disabilities: (if required by Section 118)?	N/A	LMh	29/04/2020 02:15 pm	This question does not apply to this application.
(iii) Continue to comply with the other provisions of the building code to at least the same extent as before the alteration?	Y	LMh	29/04/2020 02:15 pm	Documentation demonstrates reasonable grounds for accepting that the building will continue to comply with the other provisions of the building code to at least the same extent as before the alteration as per section 112(1)(b) All new works to fully comply (new bathroom within existing sleepout). The existing building, and compliance with relevant code clauses will largely be unchanged, and will continue to comply as required.
Section 112 (2): Alterations to Buildings - TA Function: Have the provisions of section 112 (2) been satisfied? Select N/A if the Territorial Authority does not need to consider section 112 (2).	N/A	LMh	29/04/2020 02:21 pm	This question does not apply to this project as TA input is not required
Section 112 (3): TA Function - Buildings subject to EPB Notice: Is the alteration to an existing building that is subject to an EPB Notice, and if so have provisions of section 133AT been satisfied? Select N/A if the building is not an alteration to an existing building that is subject to an EPB Notice.	N/A	LMh	29/04/2020 02:21 pm	The building is not an alteration that is subject to an EPB Notice so this question does not apply to this project.
Section 113: Specified Intended Life: Is the specified intended life of the building less than fifty years? Please select N/A if the specified intended life is fifty years or more.	N/A	LMh	29/04/2020 02:21 pm	The intended life of the building is fifty or more years.
Section 115: Change of Use: Does the proposal provide adequate evidence to enable the TERRITORIAL AUTHORITY to be satisfied, on reasonable grounds that: Please select N/A if there is no change of use occurring.				
Section 115: Change of Use - Prompt List:	<u>N/A</u>	<u>LMh</u>	<u>29/04/2020 02:31 pm</u>	This question does not apply to this application.
(a) Where the change involves the incorporation in the building of 1 or more household units where household units did not exist before; that the building, in its new use, will comply, as nearly as is reasonably practicable, with the building code in all respects?				
(b) In other cases; the building will comply, as nearly as is reasonably practicable, with every provision of the building code that relate to either or both of the following: A (i) Means of escape from fire, (ii) Protection of other property, (iii) Sanitary facilities, (iv) Structural performance, and (v) Fire rating performance. B (i) Access and facilities for people with disabilities (if required under BA Sec. 118) and (ii) Continues to comply with the other provisions of the building code to at least the same extent as before the change of use?				

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
Section 116: Extension of Life: Does the proposal demonstrate compliance with provisions of Section 116? Please select N/A if the application does not apply to a building that currently has a specified intended life.		N/A	LMh	29/04/2020 02:31 pm	This question does not apply to this application.
Section 116A: Subdivision: Is the proposal accompanied by a Certificate issued by The TERRITORIAL AUTHORITY under Section 224 (f) of the Resource Management Act 1991 giving effect to the proposed subdivision affecting the building or part of the building? Please select N/A if the application does not apply to a building that is currently undergoing subdivision.		N/A	LMh	29/04/2020 02:31 pm	This question does not apply to this application.
Section 116B: Unsafe/ Insanitary or Inadequate means of escape from fire: Is the building safe and sanitary for its intended use and does it have adequate means of escape from fire? Please select N/A if this is an application for a new building.		N/A	LMh	29/04/2020 02:31 pm	This question does not apply to this project.
Section 268 - 272: Product Certificates: If the proposal includes a product certificate issued by an accredited product certification body under BA sec. 261; then is the certificate current and the proposal within the scope of the product certificate? Please check MBIE register and record the product Authorization Number; or select N/A if there no certified building methods or products.		N/A	LMh	29/04/2020 02:39 pm	This question does not apply to this application.
PRELIMINARY					
Compliance / Documentation: Has the means of compliance been properly completed on the building consent application form?		Y	LMh	29/04/2020 02:53 pm	Means of compliance is correctly completed. Application form notes AS1 for all relevant code clauses. This to be checked and assessed during processing of each code clause as applicable.
Preconstruction Meeting: Is a pre-construction meeting required? Please select N/A if a Pre-construction meeting is not required.		N/A	LMh	29/04/2020 02:54 pm	A pre-construction meeting is not required.
Siting : Is sufficient information provided to ensure building work will be correctly sited? See Reference Notes to identify when a building location certificate (survey certificate) may be required and to identify which Advice Note to apply to each Council.		Y	LMh	29/04/2020 02:54 pm	Boundary lines clearly documented. Plans clearly note site, boundaries, existing buildings, and area of existing building to undergo alterations (internal changes only proposed).
Services: Have the effects of building work on existing services been properly considered?		N/A	LMh	29/04/2020 02:55 pm	This question does not apply to this application.
B1: Liquefaction Susceptibility: If the land on which the building work is to occur is deemed susceptible to liquefaction, then please confirm whether a geotechnical report been provided? Please add Advice Note AN 33 if the land is deemed susceptible to liquefaction.		N/A	LMh	29/04/2020 02:55 pm	This question does not apply to this application.
B1 & E1: Slope Suitability / Overland Flow Paths: Have the effects of sloping ground in relation to building stability or effects of overland flow paths been properly considered?		N/A	LMh	29/04/2020 02:55 pm	This question does not apply to this application. Internal alterations to existing building. No changes proposed.
B1: Demolition / Excavation / Construction / Sediment Control: Have the effects that construction activity may have on people or other properties been properly considered / mitigated i.e. demolition / excavation / sediment control etc.?		N/A	LMh	29/04/2020 02:55 pm	This question does not apply to this application.
E1: Drainage Easement: Is an easement required for drains that affect other properties?		N/A	LMh	29/04/2020 02:55 pm	This question does not apply to this application.
Finished Floor Levels: Is compliance with code provisions for finished floor levels in relation to finished ground levels demonstrated?		Y	LMh	29/04/2020 02:55 pm	Compliance with FFL / FGL provisions is satisfied - Internal alterations (new bathroom) to existing building. No change proposed to existing FFL
Miscellaneous - Other: Please select the cross if you wish to raise an RFI for an item that may not clearly fit into any other category.		N/A	LMh	29/04/2020 02:55 pm	Not required
B1: STRUCTURE					
B1 - Structure					
B1: Foundation / Piles / Floors			LMh	30/04/2020 11:00 am	Code Clause Disabled: Not applicable for this project. No change to existing timber subfloor. Drainage cut for new fixtures only.
B1: Sub-floor and Deck Framing and Flooring			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
B1: Wall Framing					
B1: Wall Framing: Does wall framing design demonstrate compliance with the design solution nominated, and with NZBC B1 & B2? (check that LBP details are recorded)					
B1: Wall Framing - Prompt List:		N/A	LMh	30/04/2020 11:17 am	This question does not apply to this application.
1. Treatment: Is treatment of framing & fixings appropriate for environment?					

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
2. Plates: Is top and bottom plate sizes, grade and treatment compliant and are these properly secured?					
3. Studs / Dwangs (Nogs): Is stud and nog sizes, spacing, treatment, grade and fixings compliant?					
4. Lintels / Trimmers: Are lintel and trimmer sizes, spacing, treatment, grade, fixing and support compliant?					
5. Point Loads: Is point load support and distribution complying?					
6. Blocking: Is blocking provided to support flashing systems?					
Supplementary Processing Notes:			LMh	30/04/2020 11:17 am	No new walls proposed. Original plans checked (BC 190480) wall for bathroom constructed when building originally built. No further consideration required.
B1: Wall Bracing: Does the wall bracing design demonstrate compliance with the design solution nominated, and with NZBC B1 & B2?					
B1: Wall Bracing - Prompt List:		<u>Y</u>	<u>LMh</u>	<u>30/04/2020 11:11 am</u>	
1. Methodology: Has the bracing methodology for wings, blocks and discontinued floor levels been correctly applied (3604 - para 5.1.5)?		N/A	LMh	30/04/2020 11:11 am	This question does not apply to this project.
2. Brace Demand: Has brace demand for soil, earthquake, & wind been correctly evaluated?		Y	LMh	30/04/2020 11:11 am	Brace demand for soil, earthquake, and wind has been correctly evaluated. Bracing is correctly applied Gib Ezybrace used to calculate demand - correct design parameters noted. Original Bracing calculations supplied, along with altered bracing. only 1 brace element changed from original bracing of the building. Calculations supplied to show building continues to have sufficient bracing.
3. Brace Lines: Is brace line layout and top plate size compliant?		Y	LMh	30/04/2020 11:11 am	Brace line layout and plate size is correct. No change to existing plates/brace line layouts.
4. Distribution: Is size and distribution of brace elements compliant?		Y	LMh	30/04/2020 11:11 am	Bracing evenly distributed, with calculations showing change in building. Sufficient bracing provided.
5. Construction: Are brace element construction details and fixings correctly specified?		Y	LMh	30/04/2020 11:11 am	Brace element construction details and fixings are correctly specified. 1 x new GS1 proposed. Manufacturers fixing information supplied within SP
6. Allowances: Have correct allowance been applied for height variances and for changes of direction to bracing?		Y	LMh	30/04/2020 11:11 am	Correct allowance has been applied for height variances and for changes of direction to bracing.
7. Wet Areas: Are bracing elements clear of wet areas?		Y	LMh	30/04/2020 11:11 am	Brace elements are clear of wet areas.
8. Connections: Do the plans indicate that all bracing elements are connected at top plate level either directly or via a framing member in the line of wall to external walls at right angles to it (NZS 3604 8.7.3.4)?		Y	LMh	30/04/2020 11:11 am	Compliance is satisfied.
B1: Timber Post / Beam : Does post / beam design demonstrate compliance with the design solution nominated, and NZBC B1 & B2?					
B1: Timber Post / Beam - Prompt List:		<u>N/A</u>	<u>LMh</u>	<u>30/04/2020 11:17 am</u>	This question does not apply to this application.
1. Materials: Are materials & fixings appropriate for environment?					
2. Footing: Is post footing size compliant? - (adequate mass to resist uplift)					
3. Base Details: Is the post / footing base detail / connection compliant?					
4. Post: Is post size, grade, spacing compliant?					
5. Beam: Is the beam size, grade, span compliant?					
6. Connections: Is the post / beam detail / connection compliant?					
B1: Roof Structure			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
B1: Interior Linings					
B1: Wall & Ceiling Lining Construction: Are wall and ceiling linings fit for purpose and are specifications adequate to ensure complying installation?		Y	LMh	30/04/2020 11:18 am	Construction detailing is compliant. Information for new bracing panel/alterd bracing panel supplied. All other interior linings existing.
B1: Ceiling Diaphragm: Does the ceiling diaphragm design demonstrate compliance with the design solution nominated, and with NZBC B1 & B2?					
B1: Ceiling Diaphragm - Prompt List:		<u>N/A</u>	<u>LMh</u>	<u>30/04/2020 11:18 am</u>	This question does not apply to this application.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
1. Ceiling Diaphragm: Is the diaphragm(s) connected to wall bracing elements that satisfy minimum bracing unit requirements?					
2. Ratio: Does the ratio of the diaphragm comply?					
3. Materials: Is detailing / specification of materials and fixings compliant?					
4. Penetrations: Is detailing and location of penetrations / openings compliant?					
5. SED: Does Specific Engineer Design information demonstrate compliance?					
B1: Chimney			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
B1: Masonry Construction			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
B1: Specific Design Elements			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
B2: DURABILITY					
B2: DURABILITY: Does the design demonstrate compliance with Functional Requirement - B2.2? Review inspections and add / delete / modify inspection questions as required.					
B2: DURABILITY - Prompt List:		<u>Y</u>	LMh	01/05/2020 10:39 am	
1. B2.3.1a): Will building elements (including floors, walls and fixings) that provide structural stability to the building, or elements that are difficult to access or replace, or where failure of those elements would go undetected during normal use or maintenance, with only normal maintenance continue to satisfy the performance requirements for this code for the lesser of the stated intended life of the building or for 50 years?		Y	LMh	01/05/2020 10:39 am	Compliance with B2.3.1a) is satisfied. The only new structural element within the design is an altered bracing panel. This is correctly positioned clear of showers, and appropriate for 50 year durability.
2. B2.3.1b): Will building elements (including the building envelope, exposed plumbing in the sub-floor space, and in-built chimneys and flues) that are moderately difficult to access or replace, or where failure of those elements would go undetected during normal use of the building, but would be easily detected during normal maintenance, with only normal maintenance continue to satisfy the performance requirements for this code for the lesser of the stated intended life of the building or for 15 years?		Y	LMh	01/05/2020 10:39 am	Compliance with B2.3.1b) is satisfied - 15 year durability provisions are satisfied. Suitable plumbing materials noted.
3. B2.3.1c): Will building elements (including services, linings, renewable protective coatings, and fixtures) that are easy to access and replace, and where failure of those elements would be easily detected during normal use of the building, continue to satisfy the performance requirements for this code for the lesser of the stated intended life of the building or for 5 years?		N/A	LMh	01/05/2020 10:39 am	This question does not apply to this project.
4. B2.3.2: Do individual building elements that are components of a building system and are difficult to access or replace have all the same durability OR are installed in a manner that permits replacement of elements of lesser durability without removing elements that have greater durability and are not specifically designed for removal and replacement?		N/A	LMh	01/05/2020 10:39 am	This question does not apply to this project.
B1 & B2: Wind / Earthquake / Corrosion Zone: Have the wind, earthquake and corrosion zones for this site been correctly determined and applied?		Y	LMh	01/05/2020 10:38 am	Compliance established - wind zone is EH Exposure zone is Exposed Corrosion Zone is C Earthquake Zone 2 Design parameters in accordance with original application for dwelling, and appropriate for site.
C: FIRE SAFETY					
C/AS1: SH					
C: SH - Fire Safety System [Para 2.2]: Has the designer specified a complying Type 1 smoke alarm system and correctly identified the location of the smoke detectors?		Y	LMh	30/04/2020 11:29 am	The designer has specified a complying Type 1 smoke alarm and identified the location of detectors correctly. See F7 checklist for additional comments
C: SH - Means of Escape [Part 3]: Does the building design demonstrate compliance with SH means of escape provisions?		Y	LMh	30/04/2020 11:29 am	The design demonstrates compliance with the SH means of escape provisions. DEOP remains unchanged, and is well under 25m. Building continues to comply.
C: SH - Control of Internal Fire and Smoke Spread [Part 4]: Does the design demonstrate compliance with the Fire Code Acceptable Solution Part 4 provisions for control of Internal fire and smoke spread.					
C: SH - Control of Internal Fire and Smoke Spread [Part 4] - Prompt List:		<u>N/A</u>	LMh	30/04/2020 11:29 am	This question does not apply to this application.
1. Fire Separations [Para 4.1.1 & 2.3]: Are these correctly located with the correct LIFE or PROPERTY ratings applied?					

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT	Y/N	User	Date	Notes
2. Surface Finish [Para 4.2]: If foam plastics or combustible insulating materials form part of a wall or ceiling fire / smoke separation system, then will the completed system achieve a Group Number of not more than 3.				
3. Durability: Have maintenance requirements for the fire separations been specified and are durability provisions satisfied [50 years]?				
Supplementary Processing Notes:		LMh	30/04/2020 11:29 am	No change proposed to location of existing dwelling and sleepout. Building continues to comply to the same extent as before the alterations
C: SH - Control of External Fire Spread [Part 5]: Does the design demonstrate compliance with the Fire Code Acceptable Solution Part 5 provisions for control of External fire spread?				
C: SH - Control of External Fire Spread [Part 5] - Prompt List:	N/A	LMh	30/04/2020 11:30 am	This question does not apply to this application.
1. Fire Resistant Ratings [Para 5.1]: Do external walls that are within 1m of a relevant boundary have an FRR of no less than 30/30/30?				
2. Roof Projections [Para 5.2]: Do eaves projections of external walls that require an FRR, have an FRR of 30/30/30; or if not, does the walls fire rating extend up to the underside of the roof?				
3. Eaves Rating [Para 5.2.2]: In cases where the eaves extends to within 650 mm of a relevant boundary; is the entire eaves construction and the wall from which it projects provided with an FRR of not less than 30/30/30?				
4. Protection from Lower Roof [Para 5.3]: Has fire spread from a roof that is close to and lower than an external wall of an adjacent building been mitigated by providing a 30/30/30 fire rating to the part of the roof that is within 5.0m horizontally of the wall?				
5. Exterior Surface Finishes [Para 5.4]: Do exterior surface finishes comply with the provisions of C/AS1 Para 5.4? Not required if surface finishes are less than 1 mm thick and applied directly to non-combustible substrate.				
6. Carports and Similar Construction [Para 5.5]: Have provisions of C/AS1 Para 5.4 been satisfied?				
7. Specifications / Detailing: Is complying construction detailing and specifications for fire rated construction provided - (check framing & fixing size spacing, durability, compatibility of wrap, correct insulation, suitable materials, finishes, execution)?				
8. Maintenance: Will the maintenance requirements provided ensure that the fire rated elements will achieve 50 years durability?				
Supplementary Processing Notes:		LMh	30/04/2020 11:30 am	No change proposed to existing buildings (dwelling and sleepout) location. Continues to comply to the same extent as before the alteration, and no further consideration required.
C: SH - Firefighting [Part 6]: Does consent documentation confirm that the pavement is able to withstand laden weights of rescue vehicles, is traffic-able in all weather, is of appropriate width and height, and is provided with hard standing within 20 m of building entrance and inlets to sprinkler or hydrants?	N/A	LMh	30/04/2020 11:30 am	This question does not apply to this project.
C: SH - Down Lights [Para 7.4]: Have the correct types of down lights been specified and do these comply with Para 7.4 of C1/AS1?				
C: SH - Down Lights [Para 7.4] - Prompt List:	N/A	LMh	30/04/2020 11:30 am	This question does not apply to this application.
1. Type: Have complying types of down lights been specified?				
2. Clearance: Are insulation clearance distances specified?				
Supplementary Processing Notes:		LMh	30/04/2020 11:30 am	No change to existing lighting/downlights
C: SH - Open Fire Chimney [Para 7.5]: Does the chimney design demonstrate compliance with Para 7.5 of C1/AS1? THIS PROMPT LIST DOES NOT ADDRESS COMPLIANCE WITH NZBC B1 OR B2 - GO TO STABILITY - B1 - CHIMNEY AFTER COMPLETING QUESTIONS LISTED IN THIS PROMPT LIST.				
C: SH - Open Fire Chimney [Para 7.5] - Prompt List:	N/A	LMh	30/04/2020 11:30 am	This question does not apply to this application.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
1. Construction: Do chimney construction details comply with C/AS1 - Table 7.1 & Figure 7.1?					
2. Fire bricks: Are these correctly sized (i.e. not less than 50 mm thick)?					
3. Fireplace Joints: Are these non-combustible and sealed against leaks?					
4. Chimney brickwork: Is this correctly specified (i.e. min. 90mm thick single skin with 6.5mm grout)?					
5. Expansion: Has a complying expansion gap been provided to chimneys containing flues?					
6. Flue Size: Is the cross-sectional area of flues correct?					
7. Flue linings: Are these correctly specified?					
8. Chimney clearance: Is the clearance above roof correctly specified?					
9. Number: Is a separate flue provided to each fireplace?					
10. Flue joints: Are flue joints of non-combustible materials sealed against air leakage?					
11. Hearth Construction: Is this correctly specified?					
12. Clearance: Is clearance between chimneys, hearths and combustible materials correctly specified?					
13. Ventilation: Is a min. of 50 mm ventilated space provided between the outer face of the chimney and any combustible material?					
D: ACCESS			LMh	29/04/2020 02:58 pm	Code Clause Disabled: Not applicable for this project. Existing building access remains unchanged as a result of this alteration. No assessment required
D1: Access Routes					
E: MOISTURE					
E1: Surface Water			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
E2: External Moisture			LMh	30/04/2020 12:08 pm	Code Clause Disabled: Not applicable for this project. No change to external envelope of building. existing window to be replaced with new safety glazing only. No further consideration required.
E3: Internal Moisture					
E3: Internal Moisture: Does the proposal comply with Functional Requirement E3.2 and demonstrate on reasonable grounds that buildings are constructed to avoid the likelihood of (a) Fungal growth or the accumulation of contaminants on linings and other building elements; and (b) Free water overflow penetrating to an adjoining house hold unit; and (c) Damage to building elements being caused by the presence of moisture? Review inspections and add / delete / modify inspection questions as required.					
E3: Internal Moisture - Prompt List:		Y	LMh	30/04/2020 12:13 pm	
1. E3.3.1: Does the design demonstrate that an adequate combination of thermal resistance, ventilation and space temperature is provided to all habitable spaces, bathrooms, laundry and other spaces where moisture is generated or may accumulate? LoA - does not apply to Communal Non-residential, Commercial, Industrial, Outbuildings or Ancillary buildings.		Y	LMh	30/04/2020 12:13 pm	Compliance with provisions of E3.3.1 is demonstrated. (add comment)
2. E3.3.2: Is freewater from accidental overflow from sanitary fixtures or sanitary appliances disposed of in a way that avoids loss of amenity or damage to household units or other property?		N/A	LMh	30/04/2020 12:13 pm	This question does not apply to this Project.
3. E3.3.3: Are floor surfaces of spaces containing sanitary fixtures or sanitary appliances impervious and easily cleaned?		Y	LMh	30/04/2020 12:13 pm	Compliance with provisions of E3.3.3 is demonstrated. Wooden floor - to have 3 coats of polyurethane as per E3/AS1 section 3.1.1 (F)
4. E3.3.4: Are wall surfaces adjacent to sanitary fixtures or sanitary appliances impervious and easily cleaned?		Y	LMh	30/04/2020 12:13 pm	Compliance with provisions of E3.3.4 is demonstrated. Floor plan notes gloss or semi-gloss paint as per E3/AS1 section 3.1.2
5. E3.3.5: Are surfaces of building elements that are likely to be splashed or become contaminated in the course of the intended use of the building, impervious and easily cleaned?		Y	LMh	30/04/2020 12:13 pm	Compliance with provisions of E3.3.5 is demonstrated. (add comment)
6. E3.3.6: Are surfaces of building elements that are likely to be splashed constructed in a way that prevents water splash from penetrating behind linings or into concealed spaces? Please give careful consideration to tile showers and membranes.		Y	LMh	30/04/2020 12:13 pm	Compliance with provisions of E3.3.6 is demonstrated. (add comment)
7. Construction Monitoring / Warranties: Have Construction Monitoring or Warranty requirements been entered into the system?		N/A	LMh	30/04/2020 12:13 pm	This question does not apply to this Project.
F: SAFETY OF USERS					

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
F1: Hazardous Agents on Site			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
F2: Hazardous Building Materials					
F2: Hazardous Building Materials: Does the proposal demonstrate compliance with F2.2 and demonstrate on reasonable grounds that building materials which are potentially hazardous will be used in ways that avoid undue risk to people? Review inspections and add / delete / modify inspection questions as required.					
F2: Hazardous Building Materials - Prompt List:		Y	LMh	30/04/2020 11:27 am	
1. F2.3.1: (Harmful Concentrations) - Does the proposal identify that the quantities of gas, liquid, radiation or solid particles emitted by materials used in the construction of buildings, will not give rise to harmful concentrations at the surface of the material where the material is exposed, or in the atmosphere of any space?		N/A	LMh	30/04/2020 11:27 am	This question does not apply to this Project.
2. F2.3.2: (Manifestation) - Does the proposal demonstrate that transparent panels capable of being mistaken for an unimpeded path of travel are marked to make them visible? LoA - This provision does not apply to Housing.		N/A	LMh	30/04/2020 11:27 am	This question does not apply to this Project.
3. F2.3.3: (Impact) - Does the proposal demonstrate that glass or other brittle materials with which people are likely to come into contact will: (a) If broken on impact, break in a way that is unlikely to cause injury, or (b) Resist a reasonably foreseeable impact without breaking, or (c) Be protected from impact?		Y	LMh	30/04/2020 11:27 am	Glazing with glass and brittle materials complies with F2.3.3. Plan notes safety glass to existing window where bathroom is to be located.
4. Structural Glass Barriers: Do structural glass barriers satisfy provisions of section 22 of NZS 4223.3 2016 and B1/AS1 7.3.3 and 7.3.4 as amended 1 June 2016.? See Reference Notes.		N/A	LMh	30/04/2020 11:27 am	This question does not apply to this Project.
5. Asbestos: Is the presence and location of asbestos identified; and if so, are safety procedures for working with the product provided? If there is no asbestos hazard then please turn off the requirement for a pre-construction meeting inspection and the requirement for an Asbestos Assessment Report (under Required Documents).		N/A	LMh	30/04/2020 11:27 am	This question does not apply to this Project.
F4: Safety from Falling			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
F5: Construction and Demolition Hazards					
F5: Construction and Demolition Hazards: Does the proposal comply with Functional Requirement F5.2 and demonstrate on reasonable grounds that construction and demolition work on buildings will be performed in a manner that avoids the likelihood of objects falling on people on or off the site; Objects falling on property off the site; Other hazards arising on the site affecting people off the site and other property; and unauthorized entry of children to hazards on the site. Selecting the Tick will apply Advice Note AN01 which advises the owner of their on-site obligations under F5.					
F5: Construction and Demolition Hazards - Prompt List:		Y	LMh	30/04/2020 11:25 am	
1. F5.3.1: (Construction Methods) - Does the proposal demonstrate that suitable construction methods will be used to avoid the likelihood of tools or materials falling onto places where people might be present?		Y	LMh	30/04/2020 11:25 am	Compliance with F5.3.1 is satisfied. Works to be undertaken by suitably qualified people. Internal alterations (plumbing) to existing structure only.
2. F5.3.2: (Barriers) - Does the proposal demonstrate that where construction or demolition work presents a hazard in places to which the public has access, barriers will be provided and: (a) Be of appropriate height and construction to prevent site hazards from harming traffic or passersby, (b) Be difficult to climb, (c) Have no openings other than those approved by the territorial authority for access and viewing, (d) Have no gates or doors which project beyond the site when opened, (e) Contain no projection that would be a hazard to traffic or people, and (f) Be clearly marked where the barrier itself may otherwise present a hazard to traffic or passersby?		N/A	LMh	30/04/2020 11:25 am	This question does not apply to this project Barriers not required. All works internal on private residential property.
3. F5.3.3: (Restrict Children) - Does the proposal demonstrate that where a construction or demolition site contains any hazard which might be expected to attract the unauthorised entry of children, the hazard shall be enclosed to restrict access by children?		N/A	LMh	30/04/2020 11:25 am	This question does not apply to this Project
4. F5.3.4: (Falling Hazards) - Does the proposal demonstrate that suitable barriers will be constructed to provide a safe route for people where lifting equipment creates a risk of accident from objects falling on a place of public access, or where a similar risk results from the height at which construction or demolition work is being carried out?		N/A	LMh	30/04/2020 11:25 am	This question does not apply to this Project.
F7: Warning System					

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
F7: Warning System: Does the proposal comply with Functional Requirement F7.2 and demonstrate on reasonable grounds that the building is provided with appropriate means of warning people to escape to a safe place in an emergency? Read these Questions in Conjunction with C/ AS1 - C/AS7 - PARA 2.2. Note: The Inspection requirements for these systems are driven from the C-Fire Safety section of the processing checklist.					
F7: Warning System - Prompt List:	Y	LMh	30/04/2020 11:27 am		
1. F7.3.1: Does the proposal demonstrate that the means of warning will alert people to the emergency in adequate time for them to reach a safe place?	Y	LMh	30/04/2020 11:27 am	Compliance is reasonably demonstrated.	
2. F7.3.2: Does the proposal demonstrate that appropriate means of detection and warning for fire will be provided within each household unit?	Y	LMh	30/04/2020 11:27 am	Smoke detectors are correctly located. Proposed floor plan shows 1 x smoke alarm in main part of sleepout. Given the size of the sleepout, this is in the sleeping room, and is likely to be audible to sleeping occupants.	
3. F7.3.3: Does the proposal demonstrate that appropriate means of warning for fire and other emergencies are provided in buildings as necessary to satisfy the other performance requirements of this code?	Y	LMh	30/04/2020 11:27 am	Warning systems are correctly located.	
4. Installation: Is adequate information provided to enable onsite compliance of the system to be determined?	Y	LMh	30/04/2020 11:27 am	Adequate information is provided to enable onsite compliance of the system to be determined.	
F9: Restricting Access to Residential Pools		LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.	
G: SERVICES					
G1: Personal Hygiene					
G1: Personal Hygiene - Residential: Does the proposal comply with Functional Requirement G1.2 and demonstrate on reasonable grounds that buildings are provided with appropriate spaces and facilities for personal hygiene?					
G1: Personal Hygiene - Residential - Prompt List:	Y	LMh	30/04/2020 11:33 am		
1. G1.3.1: (Number) - Does the proposal demonstrate that sanitary fixtures are provided in sufficient number and are appropriate for the people who are intended to use them?	Y	LMh	30/04/2020 11:33 am	Compliance with G1.3.1 is satisfied - Proposal is for a new bathroom within existing sleepout. This is in addition to the bathroom and ensuite already present within the dwelling. New fixtures: 1 x WC 1 x shower. Sufficient sanitary fixtures proposed.	
2. G1.3.2: (Sanitary Fixtures) - Does the proposal demonstrate that sanitary fixtures are located, constructed and installed to: (a) Facilitate sanitation, (b) Avoid risk of food contamination, (c) Avoid harboring dirt or germs, (d) Provide appropriate privacy, (e) Avoid affecting occupants of adjacent spaces from unpleasant odors, accumulation of offensive matter, or other source of annoyance, (f) Allow effective cleaning, (g) Discharge to a plumbing and drainage system as required by Clause G13 when water-borne disposal is used, and (h) Provide a healthy safe disposal system when non-water-borne disposal is used?	Y	LMh	30/04/2020 11:33 am	Compliance with G1.3.2 is satisfied - New bathroom supplied with closing door for privacy. No food making facilities within the sleepout. Handwashing facilities supplied.	
3. G1.3.3: Does the proposal demonstrate that facilities for personal hygiene are provided in convenient locations?	Y	LMh	30/04/2020 11:33 am	Compliance with G1.3.3 is satisfied - new bathroom within sleepout, which is deemed convenient for occupants.	
G2: Laundering		LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.	
G3: Food preparation and prevention of contamination		LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.	
G4: Ventilation					
G4: Ventilation - Residential: Does the proposal comply with Functional Requirement G4.2 and demonstrate on reasonable grounds that spaces within buildings are provided with adequate ventilation consistent with their maximum occupancy, and intended use?					
G4: Ventilation - Residential - Prompt List:	N	LMh	30/04/2020 11:45 am		
1. G4.3.1: (Air Changes) - Does the proposal demonstrate that spaces within the building have a means of ventilation with outdoor air that will provide an adequate number of air changes to maintain air purity?	Y	LMh	30/04/2020 11:45 am	Compliance with G4.3.1 is satisfied. Existing window in bathroom to be replaced with safety glass. Size/opening window unchanged, and more than 5% of floor area. No change to any other glazing, building continues to comply to the same extent as before the alterations.	

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT	Y/N	User	Date	Notes
2. G4.3.2: (Mechanical) - Does the proposal demonstrate that where mechanical air-handling systems are provided they will be constructed and maintained in a manner that prevents harmful bacteria, pathogens and allergens from multiplying within them?	N/A	LMh	30/04/2020 11:45 am	This question does not apply to this Project.
3. G4.3.3: (Extract) - Does the proposal demonstrate that the building has a means of collecting or otherwise removing the following products from the spaces in which they are generated: (a) Cooking fumes and odors, (b) Moisture from laundering, utensil washing, bathing and showering, (c) Odors from sanitary and waste storage spaces, (d) Gaseous by-products and excessive moisture from commercial or industrial processes, (e) Poisonous fumes and gases, (f) Flammable fumes and gases, (g) Airborne particles, (h) Bacteria, viruses or other pathogens, or (i) Products of combustion?	N	LMh	30/04/2020 11:45 am	Performance Clause G4.3.3 requires that the building has a means of collecting or otherwise removing the following products from the spaces in which they are generated: (c) Odors from sanitary and waste storage spaces, Consent documentation fails to demonstrate this. Please provide information for mechanical extraction to the shower in accordance with the requirements of G4/AS1 section 1.2. 5
4. G4.3.4: (Dispersal) - Does the proposal demonstrate that contaminated air will be disposed of in a way which avoids creating a nuisance or hazard to people and other property?				
5. G4.3.5: (Combustion) - Does the proposal demonstrate that the quantities of air supplied for ventilation will meet the additional demands of any fixed combustion appliances?	N/A	LMh	30/04/2020 11:45 am	This question does not apply to this Project.
G4: Ventilation - Residential - Prompt List:	<u>Y</u>	<u>LMh</u>	<u>01/05/2020 10:28 am</u>	RFI Response
1. G4.3.1: (Air Changes) - Does the proposal demonstrate that spaces within the building have a means of ventilation with outdoor air that will provide an adequate number of air changes to maintain air purity?	Y	LMh	01/05/2020 10:28 am	Compliance with G4.3.1 is satisfied. Existing window in bathroom to be replaced with safety glass. Size/opening window unchanged, and more than 5% of floor area. No change to any other glazing, building continues to comply to the same extent as before the alterations.
2. G4.3.2: (Mechanical) - Does the proposal demonstrate that where mechanical air-handling systems are provided they will be constructed and maintained in a manner that prevents harmful bacteria, pathogens and allergens from multiplying within them?	N/A	LMh	01/05/2020 10:28 am	This question does not apply to this Project.
3. G4.3.3: (Extract) - Does the proposal demonstrate that the building has a means of collecting or otherwise removing the following products from the spaces in which they are generated: (a) Cooking fumes and odors, (b) Moisture from laundering, utensil washing, bathing and showering, (c) Odors from sanitary and waste storage spaces, (d) Gaseous by-products and excessive moisture from commercial or industrial processes, (e) Poisonous fumes and gases, (f) Flammable fumes and gases, (g) Airborne particles, (h) Bacteria, viruses or other pathogens, or (i) Products of combustion?	Y	LMh	01/05/2020 10:28 am	RFI: Performance Clause G4.3.3 requires that the building has a means of collecting or otherwise removing the following products from the spaces in which they are generated: (c) Odors from sanitary and waste storage spaces, Consent documentation fails to demonstrate this. Please provide information for mechanical extraction to the shower in accordance with the requirements of G4/AS1 section 1.2. 5 RFI reply: Revised floor plan (sheet 3) received. This now notes mechanical ventilation to new bathroom. This to vent to exterior via walls. RFI resolved.
4. G4.3.4: (Dispersal) - Does the proposal demonstrate that contaminated air will be disposed of in a way which avoids creating a nuisance or hazard to people and other property?	Y	LMh	01/05/2020 10:28 am	Compliance with G4.3.4 is satisfied.
5. G4.3.5: (Combustion) - Does the proposal demonstrate that the quantities of air supplied for ventilation will meet the additional demands of any fixed combustion appliances?	N/A	LMh	01/05/2020 10:28 am	This question does not apply to this Project.
G4: Windows: Does the proposal demonstrate compliance with the solution nominated, and with NZBC Clauses B1, B2, E2, F2, F4 & G4?				
G4: Windows - Prompt List:	<u>N/A</u>	<u>LMh</u>	<u>30/04/2020 11:45 am</u>	This question does not apply to this application.
1. B1: Does the proposal confirm that the window design is appropriate for site specific structural design actions - (dead load, live load, wind, snow, earthquake, rain, etc.)?				
2. E2: Does flashing detail demonstrate compliance with provisions of E2?				
3. F4: Does design demonstrate that people are protected from injury caused by falling and that glazing thickness & size is adequate to resist damage from impact?				
Supplementary Processing Notes:		LMh	30/04/2020 11:45 am	No change to existing windows, no further consideration required.
G5: Interior Environment		<u>LMh</u>	<u>29/04/2020 02:59 pm</u>	Code Clause Disabled: Not applicable for this project.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
G7: Natural Light			LMh	30/04/2020 11:46 am	Code Clause Disabled: Not applicable for this project. No change to existing windows/glazing. Building continues to comply to the same extent as before the alterations
G8: Artificial Light			LMh	30/04/2020 11:46 am	Code Clause Disabled: Not applicable for this project. No change to existing lighting, building continues to comply to the same extent as before the alterations, no further consideration required.
G9: Electricity					
G9: Electricity: Does the proposal comply with Functional Requirement G9.2 and demonstrate on reasonable grounds that where provided in a building, electrical installations shall be safe for their intended use; and does the proposal confirm that an energy works certificate verifying compliance of the completed installation of appliances and equipment will be provided?					
G9: Electricity - Prompt List:	Y	LMh	30/04/2020 12:02 pm		
1. G9.3.1: Does the proposal demonstrate that the electrical installation shall incorporate systems to: (a) Protect people from contact with parts of the installation which are live during normal operation, and to prevent parts of the installation or other building elements becoming live during fault conditions, (b) Permit the safe isolation of the installation and of electrical fittings and appliances, (c) Safeguard people from excessive temperatures resulting from either normal operation of electrical equipment, or from currents which could exceed the installation rating, (d) Safeguard people from injury which may result from electromechanical stress in electrical components caused by currents in excess of the installation rating, (e) Protect building elements from risk of ignition, impairment of their physical or mechanical properties, or function, due to temperature increases resulting from heat transfer or electric arc, (f) Operate safely in its intended environment, and (g) Safeguard against ignition of the surrounding atmosphere where it is potentially flammable or explosive?	Y	LMh	30/04/2020 12:02 pm		Compliance with G9.3.1 is satisfied. Electrical certificate required at the completion of works.
2. G9.3.2: Does the proposal demonstrate that an electrical installation supplying an essential service shall: (a) Maintain the supply for a time appropriate to that service, and (b) Be capable of being isolated from the supply system, independently of the remainder of the installation?	N/A	LMh	30/04/2020 12:02 pm		This question does not apply to this Project.
3. G9.3.3: Does the proposal demonstrate that an electrical installation connected to an electrical supply system, shall contain safeguards which protect the safety features of the external supply?	Y	LMh	30/04/2020 12:02 pm		Compliance with G9.3.3 is satisfied.
4. G9.3.4: Does the proposal demonstrate that in buildings intended for use by people with disabilities, light switches and plug socket outlets shall be accessible and usable? LoA - this does not apply to Housing, Outbuildings, Ancillary Buildings, and to Industrial Buildings where no more than 10 people are employed.	N/A	LMh	30/04/2020 12:02 pm		This question does not apply to this Project.
G10: Piped Services & G11: Gas As An Energy Source		LMh	30/04/2020 11:47 am		Code Clause Disabled: Not applicable for this project.
G12: Water Supplies					
G12: Water Supply: Does the proposal comply with Functional Requirement G12.2 and demonstrate on reasonable grounds that buildings provided with water outlets, sanitary fixtures or sanitary appliances have safe and adequate water supplies?					
G12: Water Supply - Prompt List:	N	LMh	30/04/2020 11:39 am		
1. G12.3.1: (Potable Water) - Does the proposal demonstrate that water intended for human consumption, food preparation, utensil washing or oral hygiene is potable? Apply Advice Note AN 14 if the potable water supply is not provided by a NUO (network utility operator).	Y	LMh	30/04/2020 11:39 am		Compliance with G12.3.1 is satisfied. Water supply is potable and fit for consumption. Existing water supplying dwelling to be extended to sleepout. It is fair and reasonable to assume this is potable given dwelling obtained CCC one month ago.
2. G12.3.2: (Potable Water Protection) - Does the proposal demonstrate that the potable water supply system will be: (a) Protected from contamination, (b) Installed in a manner which avoids the likelihood of contamination within the system and the water main, and (c) Installed using components that will not contaminate the water?	Y	LMh	30/04/2020 11:39 am		Provisions of G12.3.2 are satisfied - potable water is protected.
3. G12.3.3: (Non-Potable Water) - Does the proposal demonstrate that a non-potable water supply system used for personal hygiene will be installed in a manner that avoids the likelihood of illness or injury being caused by the system?		LMh	30/04/2020 11:39 am		

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
4. G12.3.4: (Non-Potable Pipework) - Does the proposal demonstrate that water pipes and outlets provided with non-potable water are clearly identified?		N/A	LMh	30/04/2020 11:39 am	This question does not apply to this Project.
5. G12.3.5: (Hot Water) - Does the proposal demonstrate that sanitary fixtures and sanitary appliances will be provided with hot water when intended to be used for: (a) utensil washing; and (b) personal washing, showering or bathing? LoA - G12.3.5 (b) only applies to housing, retirement homes, early childhood centers - Therefore; buildings that are not classified as housing, retirement homes or early childhood centers still require hot water if utensil washing will occur.		N	LMh	30/04/2020 11:39 am	Performance Clause G12.3.5 requires that that sanitary fixtures and sanitary appliances will be provided with hot water when intended to be used for: utensil washing; and personal washing, showering or bathing. The drainage plan indicates the hot water supply from the dwelling is to be extended to the sleepout. Please supply confirmation/information regarding the pipe length required, and confirm the requirements of G12/AS1 table 4 can be adhered to (Maximum pipe length of 20 metres)
6. G12.3.6: (Temperature Control) - Does the proposal demonstrate that where hot water is provided to sanitary fixtures and sanitary appliances or used for personal hygiene, it will be delivered at a temperature that avoids the likelihood of scalding?					
7. G12.3.7: (Water Supply System) - Does the proposal demonstrate that water supply systems will be installed in a manner that: (a) Pipes water to sanitary fixtures and sanitary appliances at flow rates adequate for the correct functioning of those fixtures and appliances under normal conditions, (b) Avoids the likelihood of leakage, (c) Allows reasonable access to components likely to need maintenance, and (d) Allows the system and any backflow prevention devices to be isolated for testing and maintenance?					
8. G12.3.8: (Pressure Relief) - Does the proposal demonstrate that vessels used for producing or storing hot water are provided with safety devices that: (a) Relieve excessive pressure during both normal and abnormal conditions, and (b) limit temperatures to avoid the likelihood of flash steam production in the event of rupture? tick N/A if the proposal uses a califont system i.e. Infinity Gas Water Heater.					
9. G12.3.9: (Legionella) - Does the proposal demonstrate that a hot water system must be capable of being controlled to prevent the growth of legionella bacteria? tick N/A if the proposal uses a califont system i.e. Infinity Gas Water Heater.					
10. G12.3.10: (Accessibility) - Does the proposal demonstrate that water supply taps are accessible and usable for people with disabilities? LoA - only applies to buildings identified under section 47 A of the Act.					
G12: Water Supply - Prompt List:			LMh	01/05/2020 10:35 am	RFI Response
1. G12.3.1: (Potable Water) - Does the proposal demonstrate that water intended for human consumption, food preparation, utensil washing or oral hygiene is potable? Apply Advice Note AN 14 if the potable water supply is not provided by a NUO (network utility operator).		Y	LMh	01/05/2020 10:35 am	Compliance with G12.3.1 is satisfied. Water supply is potable and fit for consumption. Existing water supplying dwelling to be extended to sleepout. It is fair and reasonable to assume this is potable given dwelling obtained CCC one month ago.
2. G12.3.2: (Potable Water Protection) - Does the proposal demonstrate that the potable water supply system will be: (a) Protected from contamination, (b) Installed in a manner which avoids the likelihood of contamination within the system and the water main, and (c) Installed using components that will not contaminate the water?		Y	LMh	01/05/2020 10:35 am	Provisions of G12.3.2 are satisfied - potable water is protected.
3. G12.3.3: (Non-Potable Water) - Does the proposal demonstrate that a non-potable water supply system used for personal hygiene will be installed in a manner that avoids the likelihood of illness or injury being caused by the system?			LMh	01/05/2020 10:35 am	
4. G12.3.4: (Non-Potable Pipework) - Does the proposal demonstrate that water pipes and outlets provided with non-potable water are clearly identified?		N/A	LMh	01/05/2020 10:35 am	This question does not apply to this Project.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT	Y/N	User	Date	Notes
5. G12.3.5: (Hot Water) - Does the proposal demonstrate that sanitary fixtures and sanitary appliances will be provided with hot water when intended to be used for: (a) utensil washing; and (b) personal washing, showering or bathing? LoA - G12.3.5 (b) only applies to housing, retirement homes, early childhood centers - Therefore; buildings that are not classified as housing, retirement homes or early childhood centers still require hot water if utensil washing will occur.	Y	LMh	01/05/2020 10:35 am	RFI: Performance Clause G12.3.5 requires that that sanitary fixtures and sanitary appliances will be provided with hot water when intended to be used for: utensil washing; and personal washing, showering or bathing. The drainage plan indicates the hot water supply from the dwelling is to be extended to the sleepout. Please supply confirmation/information regarding the pipe length required, and confirm the requirements of G12/AS1 table 4 can be adhered to (Maximum pipe length of 20 metres) RFI reply: Revised drainage plan received, with hot water feed and length now supplied. Developed pipe length of 16m proposed, which is appropriate given G12/AS1 table 4.
6. G12.3.6: (Temperature Control) - Does the proposal demonstrate that where hot water is provided to sanitary fixtures and sanitary appliances or used for personal hygiene, it will be delivered at a temperature that avoids the likelihood of scalding?	N/A	LMh	01/05/2020 10:35 am	This question does not apply to this Project. Existing HWC, no further consideration required.
7. G12.3.7: (Water Supply System) - Does the proposal demonstrate that water supply systems will be installed in a manner that: (a) Pipes water to sanitary fixtures and sanitary appliances at flow rates adequate for the correct functioning of those fixtures and appliances under normal conditions, (b) Avoids the likelihood of leakage, (c) Allows reasonable access to components likely to need maintenance, and (d) Allows the system and any backflow prevention devices to be isolated for testing and maintenance?	N/A	LMh	01/05/2020 10:35 am	This question does not apply to this Project. Existing HWC, no further consideration required.
8. G12.3.8: (Pressure Relief) - Does the proposal demonstrate that vessels used for producing or storing hot water are provided with safety devices that: (a) Relieve excessive pressure during both normal and abnormal conditions, and (b) limit temperatures to avoid the likelihood of flash steam production in the event of rupture? tick N/A if the proposal uses a califont system i.e. Infinity Gas Water Heater.	N/A	LMh	01/05/2020 10:35 am	This question does not apply to this Project. Existing HWC, no further consideration required.
9. G12.3.9: (Legionella) - Does the proposal demonstrate that a hot water system must be capable of being controlled to prevent the growth of legionella bacteria? tick N/A if the proposal uses a califont system i.e. Infinity Gas Water Heater.	N/A	LMh	01/05/2020 10:35 am	This question does not apply to this Project. Existing HWC, no further consideration required.
10. G12.3.10: (Accessibility) - Does the proposal demonstrate that water supply taps are accessible and usable for people with disabilities? LoA - only applies to buildings identified under section 47 A of the Act.	N/A	LMh	01/05/2020 10:35 am	This question does not apply to this Project. Existing HWC, no further consideration required.
G12: Water Supply - Prompt List:	Y	LMh	01/05/2020 10:37 am	
1. G12.3.1: (Potable Water) - Does the proposal demonstrate that water intended for human consumption, food preparation, utensil washing or oral hygiene is potable? Apply Advice Note AN 14 if the potable water supply is not provided by a NUO (network utility operator).	Y	LMh	01/05/2020 10:37 am	Compliance with G12.3.1 is satisfied. Water supply is potable and fit for consumption. Existing water supplying dwelling to be extended to sleepout. It is fair and reasonable to assume this is potable given dwelling obtained CCC one month ago.
2. G12.3.2: (Potable Water Protection) - Does the proposal demonstrate that the potable water supply system will be: (a) Protected from contamination, (b) Installed in a manner which avoids the likelihood of contamination within the system and the water main, and (c) Installed using components that will not contaminate the water?	Y	LMh	01/05/2020 10:37 am	Provisions of G12.3.2 are satisfied - potable water is protected.
3. G12.3.3: (Non-Potable Water) - Does the proposal demonstrate that a non-potable water supply system used for personal hygiene will be installed in a manner that avoids the likelihood of illness or injury being caused by the system?	N/A	LMh	01/05/2020 10:37 am	This question does not apply to this Project.
4. G12.3.4: (Non-Potable Pipework) - Does the proposal demonstrate that water pipes and outlets provided with non-potable water are clearly identified?	N/A	LMh	01/05/2020 10:37 am	This question does not apply to this Project.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
5. G12.3.5: (Hot Water) - Does the proposal demonstrate that sanitary fixtures and sanitary appliances will be provided with hot water when intended to be used for: (a) utensil washing; and (b) personal washing, showering or bathing? LoA - G12.3.5 (b) only applies to housing, retirement homes, early childhood centers - Therefore; buildings that are not classified as housing, retirement homes or early childhood centers still require hot water if utensil washing will occur.		Y	LMh	01/05/2020 10:37 am	RFI: Performance Clause G12.3.5 requires that that sanitary fixtures and sanitary appliances will be provided with hot water when intended to be used for: utensil washing; and personal washing, showering or bathing. The drainage plan indicates the hot water supply from the dwelling is to be extended to the sleepout. Please supply confirmation/information regarding the pipe length required, and confirm the requirements of G12/AS1 table 4 can be adhered to (Maximum pipe length of 20 metres) RFI reply: Revised drainage plan received, with hot water feed and length now supplied. Developed pipe length of 16m proposed, which is appropriate given G12/AS1 table 4.
6. G12.3.6: (Temperature Control) - Does the proposal demonstrate that where hot water is provided to sanitary fixtures and sanitary appliances or used for personal hygiene, it will be delivered at a temperature that avoids the likelihood of scalding?		N/A	LMh	01/05/2020 10:37 am	This question does not apply to this Project. Existing HWC, no further consideration required.
7. G12.3.7: (Water Supply System) - Does the proposal demonstrate that water supply systems will be installed in a manner that: (a) Pipes water to sanitary fixtures and sanitary appliances at flow rates adequate for the correct functioning of those fixtures and appliances under normal conditions, (b) Avoids the likelihood of leakage, (c) Allows reasonable access to components likely to need maintenance, and (d) Allows the system and any backflow prevention devices to be isolated for testing and maintenance?		N/A	LMh	01/05/2020 10:37 am	This question does not apply to this Project. Existing HWC, no further consideration required.
8. G12.3.8: (Pressure Relief) - Does the proposal demonstrate that vessels used for producing or storing hot water are provided with safety devices that: (a) Relieve excessive pressure during both normal and abnormal conditions, and (b) limit temperatures to avoid the likelihood of flash steam production in the event of rupture? tick N/A if the proposal uses a califont system i.e. Infinity Gas Water Heater.		N/A	LMh	01/05/2020 10:37 am	This question does not apply to this Project. Existing HWC, no further consideration required.
9. G12.3.9: (Legionella) - Does the proposal demonstrate that a hot water system must be capable of being controlled to prevent the growth of legionella bacteria? tick N/A if the proposal uses a califont system i.e. Infinity Gas Water Heater.		N/A	LMh	01/05/2020 10:37 am	This question does not apply to this Project. Existing HWC, no further consideration required.
10. G12.3.10: (Accessibility) - Does the proposal demonstrate that water supply taps are accessible and usable for people with disabilities? LoA - only applies to buildings identified under section 47 A of the Act.		N/A	LMh	01/05/2020 10:37 am	This question does not apply to this Project. Existing HWC, no further consideration required.
G13: Sanitary Plumbing & Foul Water Drainage					
G13: Foul Water: Does the proposal comply with G13.2 and demonstrate on reasonable grounds that buildings in which sanitary fixtures and sanitary appliances using water-borne waste disposal are installed will be provided with: (a) an adequate plumbing and draining system to carry foul water to appropriate outfalls, and (b) if no sewer is available, an adequate system for the storage, treatment, and disposal of foul water?					
G13: Foul Water - Prompt List:		N	LMh	30/04/2020 12:07 pm	
1. G13.3.1: (Sanitary Plumbing System) - Does the proposal demonstrate that the system will be constructed to: (a) Convey foul water from buildings to a drainage system, (b) Avoid the likelihood of blockage and leakage, (c) Avoid the likelihood of foul air and gases entering buildings, and (d) provide reasonable access for maintenance and clearing blockages?		Y	LMh	30/04/2020 12:07 pm	Compliance with G13.3.1 is satisfied - the system is correctly constructed. Suitable discharge pipe sizes and gradients indicated. 80mm TV shown in appropriate location.
2. G13.3.2: (Foul Water Drainage System) - Does the proposal demonstrate that the system will: (a) Convey foul water to an appropriate outfall, (b) Be constructed to avoid the likelihood of blockage, (c) Be supported, jointed and protected in a way that will avoid the likelihood of penetration of roots or the entry of ground water, (d) Be provided with reasonable access for maintenance and clearing blockages, (e) Be ventilated to avoid the likelihood of foul air and gases accumulating in the drainage system and sewer, and (f) Be constructed to avoid the likelihood of damage from superimposed loads or normal ground movement?		N	LMh	30/04/2020 12:07 pm	Within your drainage plan, please provide provision for venting of the WC in accordance with the requirements of G13/AS1 table 5.
3. G13.3.3: (Sewer Connection Available) - Does the proposal demonstrate that the connection will be made in a manner that avoids damage to the sewer and to the approval of the network utility operator?		N/A	LMh	30/04/2020 12:07 pm	This question does not apply to this Project.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT	Y/N	User	Date	Notes
4. G13.3.4: (Sewer Connection Unavailable) - Does the proposal demonstrate that facilities for the storage, treatment, and disposal of foul water will be constructed: (a) With adequate capacity for the volume of foul water and the frequency of disposal, (b) With adequate vehicle access for collection if required, (c) To avoid the likelihood of contamination of any potable water supplies in compliance with Clause G12 Water Supplies, (d) To avoid the likelihood of contamination of soils, ground water, and waterways except as permitted under the Resource Management Act 1991, (e) From materials that are impervious both to the foul water for which disposal is required, and to water, (f) To avoid the likelihood of blockage and leakage, (g) To avoid the likelihood of foul air and gases accumulating within or entering into buildings, (h) To avoid the likelihood of unauthorized access by people, (i) To permit easy cleaning and maintenance, (j) To avoid the likelihood of damage from superimposed loads or normal ground movement, and (k) If those facilities are buried underground, to resist hydro static uplift pressures? SDC - If this question is ticked please add advice note AN 15a to Form 5.	Y	LMh	30/04/2020 12:07 pm	<p>Compliance with G13.3.4 is satisfied - the proposal demonstrates that facilities will be properly constructed. An installation and commissioning report verifying the system and all components have been installed and operate in conformity with the design is required upon completion.</p> <p>New bathroom to connect to existing onsite wastewater system, which is suitably sized for the additional loading (no change to occupancy proposed)</p>
G13: Foul Water - Prompt List:	Y	LMh	01/05/2020 10:32 am	RFI Response
1. G13.3.1: (Sanitary Plumbing System) - Does the proposal demonstrate that the system will be constructed to: (a) Convey foul water from buildings to a drainage system, (b) Avoid the likelihood of blockage and leakage, (c) Avoid the likelihood of foul air and gases entering buildings, and (d) provide reasonable access for maintenance and clearing blockages?	Y	LMh	01/05/2020 10:32 am	<p>Compliance with G13.3.1 is satisfied - the system is correctly constructed.</p> <p>Suitable discharge pipe sizes and gradients indicated.</p> <p>80mm TV shown in appropriate location.</p>
2. G13.3.2: (Foul Water Drainage System) - Does the proposal demonstrate that the system will: (a) Convey foul water to an appropriate outfall, (b) Be constructed to avoid the likelihood of blockage, (c) Be supported, jointed and protected in a way that will avoid the likelihood of penetration of roots or the entry of ground water, (d) Be provided with reasonable access for maintenance and clearing blockages, (e) Be ventilated to avoid the likelihood of foul air and gases accumulating in the drainage system and sewer, and (f) Be constructed to avoid the likelihood of damage from superimposed loads or normal ground movement?	Y	LMh	01/05/2020 10:32 am	<p>RFI: Within your drainage plan, please provide provision for venting of the WC in accordance with the requirements of G13/AS1 table 5.</p> <p>RFI reply: Revised drainge plan received. This now shows AAV fitted to WC, with suitable ventilation for new branch drain.</p> <p>Table supplied with fixture discharge sizes and gradients noted suitably.</p> <p>No other fixture ventilation required as all are within 3.5m of GT.</p> <p>Compliance demonstrated within the design.</p> <p>RFI resolved.</p>
3. G13.3.3: (Sewer Connection Available) - Does the proposal demonstrate that the connection will be made in a manner that avoids damage to the sewer and to the approval of the network utility operator?	N/A	LMh	01/05/2020 10:32 am	This question does not apply to this Project.
4. G13.3.4: (Sewer Connection Unavailable) - Does the proposal demonstrate that facilities for the storage, treatment, and disposal of foul water will be constructed: (a) With adequate capacity for the volume of foul water and the frequency of disposal, (b) With adequate vehicle access for collection if required, (c) To avoid the likelihood of contamination of any potable water supplies in compliance with Clause G12 Water Supplies, (d) To avoid the likelihood of contamination of soils, ground water, and waterways except as permitted under the Resource Management Act 1991, (e) From materials that are impervious both to the foul water for which disposal is required, and to water, (f) To avoid the likelihood of blockage and leakage, (g) To avoid the likelihood of foul air and gases accumulating within or entering into buildings, (h) To avoid the likelihood of unauthorized access by people, (i) To permit easy cleaning and maintenance, (j) To avoid the likelihood of damage from superimposed loads or normal ground movement, and (k) If those facilities are buried underground, to resist hydro static uplift pressures? SDC - If this question is ticked please add advice note AN 15a to Form 5.	Y	LMh	01/05/2020 10:32 am	<p>Compliance with G13.3.4 is satisfied - the proposal demonstrates that facilities will be properly constructed. An installation and commissioning report verifying the system and all components have been installed and operate in conformity with the design is required upon completion.</p> <p>New bathroom to connect to existing onsite wastewater system, which is suitably sized for the additional loading (no change to occupancy proposed)</p>
G13: Existing Drains: Are there any existing drains being built over or connected into, and if so, does the proposal provide verification that these are in sound condition and will be after construction, and if being connected into; are these accessible?	N/A	LMh	30/04/2020 12:08 pm	This question does not apply to this Project.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT	Y/N	User	Date	Notes
G13: Redundant Drains or Septic Tanks: Are there any drains or existing septic tanks on site that will become redundant as a result of the proposed building work; and if so ensure that this is clearly documented?	N/A	LMh	30/04/2020 12:04 pm	This question does not apply to this Project.
G13 / VM4 Foul Water: Onsite Wastewater Disposal - Tasman Nelson: Does the proposal demonstrate compliance with G13.2 and G13/VM 4 Foul Water: Onsite Disposal? Note: VM 4 provides for onsite disposal designs for the treatment of foul water for flow rates up to a maximum of 14,000 liters/ week from a population equivalent of up to 10 persons (A dwelling unit accommodating more than 10 persons is subject to Specific Engineer Design and is outside of VM 4).				
G13 / VM4 Foul Water: Onsite Wastewater Disposal - Tasman Nelson - Prompt List:	N/A	LMh	30/04/2020 12:04 pm	This question does not apply to this application.
1. Scope: Is the solution within the scope of G13/ VM4 and is the design flow volume nominated? Note: VM 4 provides for onsite disposal designs for the treatment of foul water for flow rates up to a maximum of 14,000 liters/ week from a population equivalent of up to 10 persons (A dwelling unit accommodating more than 10 persons is subject to Specific Engineer Design and is outside of VM 4).				
2. Section 75: Is the on-site disposal system contained and constructed within a single allotment?				
3. Plans: Are all components of the wastewater system located on the site plan and floor plans and shown to scale and dimensioned? (ensure that the plans show the floor plans of all buildings serviced by the proposed waste water system and reserve fields).				
4. Design Verification: Is the design accompanied by a Statement of Design from a suitably qualified person confirming compliance with AS/NZS 1547: 2012? (PS1 from CPENG or IPENZ)				
5. Design Flow Allowances: Have the correct design flow allowances been applied for the proposed water source (see AS/NZS 1547:2012 Table H3 or H4 - onsite / tanks/ reticulated / bore water)?				
6. Tank Construction: Is the type of tank construction identified and does it satisfy provisions of AS/NZS 1546.1?				
7. System Dispersal: Is a comply description of the system provided? (Primary / secondary / tertiary, disposal system bed/ trench / pressure compensated drip irrigation or mound)				
8. System Treatment: Does the system demonstrate compliance with AS/NZS 1547:2012 para 1.2.1.1? (OSET or EU or EPA)				
9. Primary System - Tank Size: Does the tank size comply with NZS AS/NZS 1547: 2012 Appendix J Tables?				
10. Secondary System - Method: Is the method of producing secondary quality effluent identified? (e.g. peat, sand, wetland, AWTS)				
11. Tertiary System: Is the type of tertiary system nominated and complying?				
12. Disinfection: Is the type of disinfection system nominated and complying?				
13. Dispersal System: Does the dispersal system comply with the appropriate reference in Appendix L of AS/NZS 1547:2012? (Trenches and Beds - AS/NZS 1547:2012 Figures L 1-5, ETA/ ETS Figures L6 and L7, Irrigation systems M1-M3, Mounds N1)				
14. Operational and Management Plan: Does the plan demonstrate compliance? (refer AS/NZS 1547:2012 Tables J 1-3)				
15. Water Conservation: Do the water reduction fixtures comply with AS/NZS 1547:2012 Table H3, Note 3?				
16. Soil and Site Evaluation: Does the evaluation demonstrate compliance with AS/NZS 1547:2012 Fig B1 and para D3.1.1 and is this supported with photographs?				
17. Separation from Water Sources: Does the solution demonstrate compliance with AS/NZS 1547:2012 Tables R1 & R2?				
18. Design Loading Rate / Design Irrigation Rate: Do these demonstrate compliance with AS/NZS 1547:2012 Tables L1, M1 and N1?				
19. Slope / Levels: Do these demonstrate compliance with AS/NZS 1547: 2012 Tables M2?				
20. Protection: Is protection of the effluent field compliant with AS/NZS 1547: 2012 section 5.5.3.7?				

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Processing - AUDIT		Y/N	User	Date	Notes
Supplementary Processing Notes:			LMh	30/04/2020 12:04 pm	<p>New bathroom to connect to existing septic tank.</p> <p>Wastewater design report supplied from original comissioning, which had allowed for sleepout. No change to proposed occupancy load. New bathroom only.</p> <p>Original reports also checked.</p> <p>System has been functioning for less than a year, and it is reasonable to assume it is in good condition. SORG that system suitably sized.</p> <p>No further consideration required.</p>
G15: Solid Waste			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
H: ENERGY EFFICIENCY			LMh	30/04/2020 11:31 am	<p>Code Clause Disabled: Not applicable for this project.</p> <p>No change proposed to existing insulation/H1 compliance.</p> <p>Sleepout continues to comply to the same extent as before the alterations. No further consideration required.</p>
Swimming Pools			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
HEATING APPLIANCES			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
Solid Fuel Burner			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
Gas - Liquid Fuel Burning Appliances			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
Radiators			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
Solar Water Heater			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
DETACHED GARAGE			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.
Retaining Walls			LMh	29/04/2020 02:59 pm	Code Clause Disabled: Not applicable for this project.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Code Clause Management History			
Code Clause	Initials	Date	Reason/Notes
B1: Foundation / Piles / Floors	LMh	30/04/2020 11:00 am	Not applicable for this project. No change to existing timber subfloor. Drainage cut for new fixtures only.
B1: Sub-floor and Deck Framing and Flooring	LMh	29/04/2020 02:59 pm	Not applicable for this project.
B1: Roof Structure	LMh	29/04/2020 02:59 pm	Not applicable for this project.
B1: Chimney	LMh	29/04/2020 02:59 pm	Not applicable for this project.
B1: Masonry Construction	LMh	29/04/2020 02:59 pm	Not applicable for this project.
B1: Specific Design Elements	LMh	29/04/2020 02:59 pm	Not applicable for this project.
D: ACCESS	LMh	29/04/2020 02:58 pm	Not applicable for this project. Existing building access remains unchanged as a result of this alteration. No assessment required
E1: Surface Water	LMh	29/04/2020 02:59 pm	Not applicable for this project.
E2: External Moisture	LMh	30/04/2020 12:08 pm	Not applicable for this project. No change to external envelope of building. existing window to be replaced with new safety glazing only. No further consideration required.
F1: Hazardous Agents on Site	LMh	29/04/2020 02:59 pm	Not applicable for this project.
F4: Safety from Falling	LMh	29/04/2020 02:59 pm	Not applicable for this project.
F9: Restricting Access to Residential Pools	LMh	29/04/2020 02:59 pm	Not applicable for this project.
G2: Laundering	LMh	29/04/2020 02:59 pm	Not applicable for this project.
G3: Food preparation and prevention of contamination	LMh	29/04/2020 02:59 pm	Not applicable for this project.
G5: Interior Environment	LMh	29/04/2020 02:59 pm	Not applicable for this project.
G7: Natural Light	LMh	30/04/2020 11:46 am	Not applicable for this project. No change to existing windows/glazing. Building continues to comply to the same extent as before the alterations
G8: Artificial Light	LMh	30/04/2020 11:46 am	Not applicable for this project. No change to existing lighting, building continues to comply to the same extent as before the alterations, no further consideration required.
G10: Piped Services & G11: Gas As An Energy Source	LMh	30/04/2020 11:47 am	Not applicable for this project.
G15: Solid Waste	LMh	29/04/2020 02:59 pm	Not applicable for this project.
H: ENERGY EFFICIENCY	LMh	30/04/2020 11:31 am	Not applicable for this project. No change proposed to existing insulation/H1 compliance. Sleepout continues to comply to the same extent as before the alterations. No further consideration required.
Swimming Pools	LMh	29/04/2020 02:59 pm	Not applicable for this project.
HEATING APPLIANCES	LMh	29/04/2020 02:59 pm	Not applicable for this project.
Solid Fuel Burner	LMh	29/04/2020 02:59 pm	Not applicable for this project.
Gas - Liquid Fuel Burning Appliances	LMh	29/04/2020 02:59 pm	Not applicable for this project.
Radiators	LMh	29/04/2020 02:59 pm	Not applicable for this project.
Solar Water Heater	LMh	29/04/2020 02:59 pm	Not applicable for this project.
DETACHED GARAGE	LMh	29/04/2020 02:59 pm	Not applicable for this project.
Retaining Walls	LMh	29/04/2020 02:59 pm	Not applicable for this project.

Processing Time Clock Start Date: 06/04/2020 07:35 am

Decision To Grant: BC200322 by Lori Marevich @ 01/05/2020 10:48 am

Documentation demonstrates compliance with the Building Code and Building Act 2004. Requests for further information have been addressed and reasons for these have been recorded in each instance. Building Consent can be granted and issued on payment of the appropriate fees and levies.

Form 5

Building consent - BC200322

Section 51, Building Act 2004

The building

Street address of building: 31 Pineview Way, Motueka Valley
 Legal description of land where building is located: LOT 10 DP 519728
 Building name:
 Location of building within site/block number: 31 Pineview Way, Motueka Valley
 Level/unit number: 0

The owner

Name of owner: Samuel McLeod and Toni Evans
 Contact person: Toni
 Mailing address: PO Box 316
 Motueka 7196

Street address/registered office:
 Phone number: Landline: Mobile: 0211103643
 Daytime: No information provided
 After hours: No information provided
 Facsimile number: No information provided
 Email address: themotlot@gmail.com
 Website: No information provided
 First point of contact for communications with the building consent authority:
 Greg Benjamin; Mailing Address: 30 Citrus Lane
 Enner Glynn
 Nelson 7011; Mobile: 0211449153; Email: gregsdesign@outlook.com

Building work

The following building work is authorised by this building consent:

Addition of bathroom to sleepout

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Section 90 - Inspections by Building Consent Authorities: (1) Every building consent is subject to the

condition that agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect-

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

(2) The provisions (if any) that are endorsed on a building consent in relation to inspection during the carrying out of building work must be taken to include the provisions of this section.

(3) In this section, inspection means the taking of all reasonable steps to ensure that building work is being carried out in accordance with a building consent.

Compliance schedule

A compliance schedule is not required for this building.

Inspections

The following inspections are required:

- Wastepipes
- Preline
- Drainage
- Framing / Pre-wrap
- Post Line
- Final

Documents required

Wastepipes

- G12: Pipework pressure test documentation

Preline

- G12: Pipework pressure test documentation
- G13: Pressure test verification (PS3), plumber details

Drainage

- G13: As-builts, drainlayer details, pipework test

Final

- F2: Hazardous materials - Compliance documentation
- G4: Mechanical vent - Commissioning & construction monitoring (PS3 / PS4)
- G9: Energy works certificate

Copies of all site reports/records must be provided to the BCA as work proceeds for their records, please

upload these to the correct building consent via the AlphaOne portal.

Attachments

Copies of the following documents are attached to this building consent:

- Advice notes / Endorsements

Dawn Rosie

Position: Team Leader Building Consents

On behalf of: Tasman District Council

Issue Date: 01 May 2020

Advice notes / Endorsements

Site Safety: Please ensure all appropriate site safety measures are provided throughout the contract works to comply with NZ Building Code Clause F5 and all occupational safety and health requirements.

Hazardous Materials: As with any construction project there is a likelihood that some materials used may potentially emit quantities of gas, liquid, radiation or solid particles i.e. glues, paints, dust or particles from insulation etc. that could be harmful. Please ensure spaces remain well ventilated and clean to mitigate potential build-up or concentration of these.

Electrical Energy Works Certificate: The Building Consent Authority places full reliance of the issue of energy work certificates to verify that the installation and completion of electrical services comply with the provisions of New Zealand Building Code Clauses G9. Code compliance certificate will not be issued unless the energy works certificates identifies compliance with this specific code clause and/or appropriate NZS/AS Standard, and confirms compliance with this building consent.

Pressure Test Certificate: Upon completion of the building work the plumber shall provide a pressure test certificate to the owner to submit with their documentation for code compliance certificate application.

BC200322

Tasman District Council - Approved

01/05/2020

A-SLEEP-OUT LOCATION-1	2
B-SLEEP-OUT DRAINAGE-2	3
C-FLOOR & ELEVATIONS-SLEEP-OUT-3	4





Legal Description

MOTUEKA
Lot 10 DP 519728
Site Area 4170m²

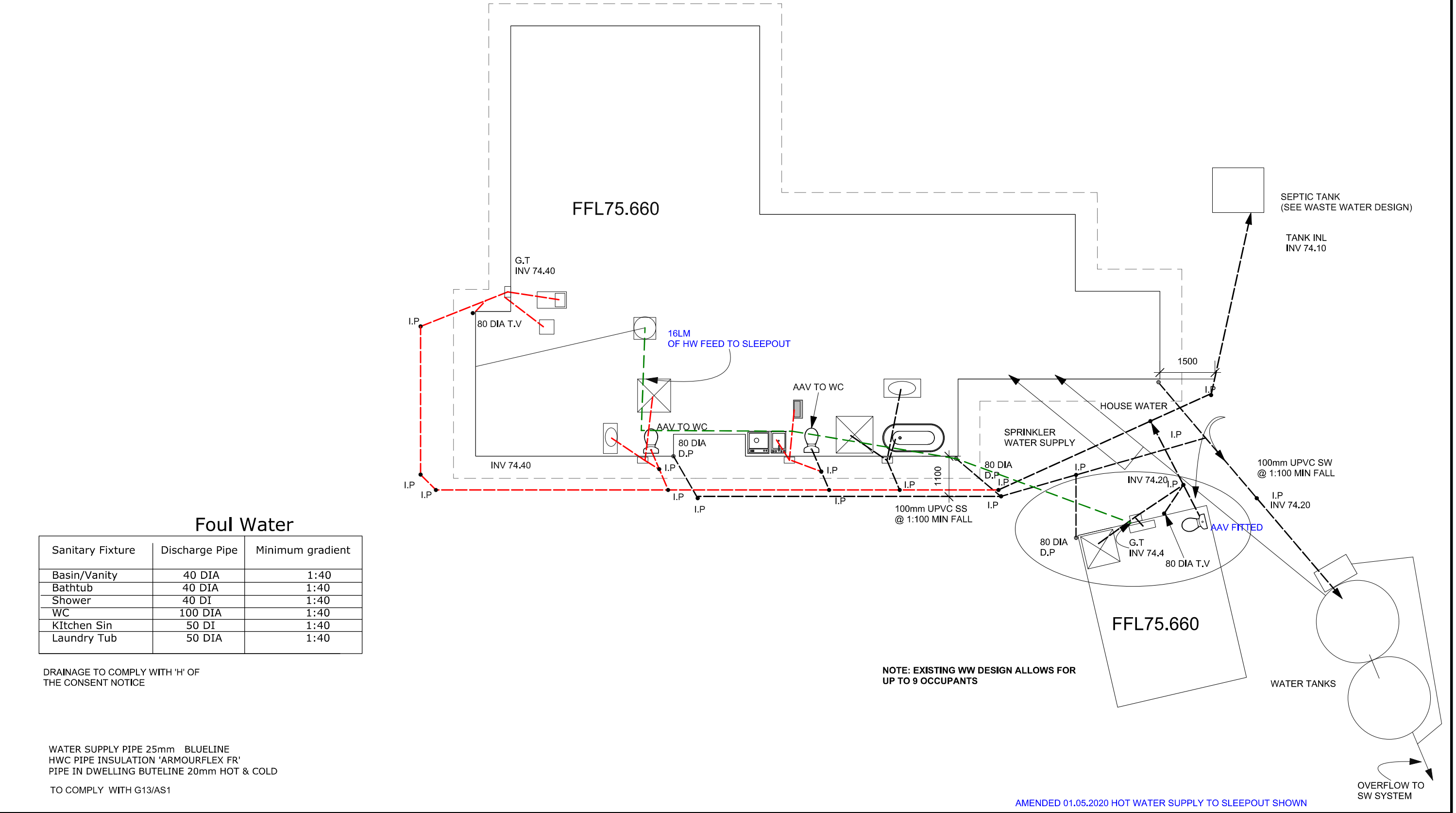
Notes

Wind zone Extra High

Planning

Zone Rural Residential
Floor area 137m²
Coverage 3.2%

SLEEPOUT BATHROOM	LOCATION PLAN	FOR S MCLEOD & T EVANS 31 PINEVIEW WAY MOTUEKA	DRAWN G BENJAMIN 0211449153 DATE 02/04/2019	SCALE 1:400 @A3 REVISION	1/3
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BC200322

Tasman District Council - Approved

01/05/2020

Wet Areas Wall Lining

Wet areas wall lining to be finished with Semi Gloss or Gloss paint as per acceptable solutions E3/AS1 3.1.2 Walls (f)

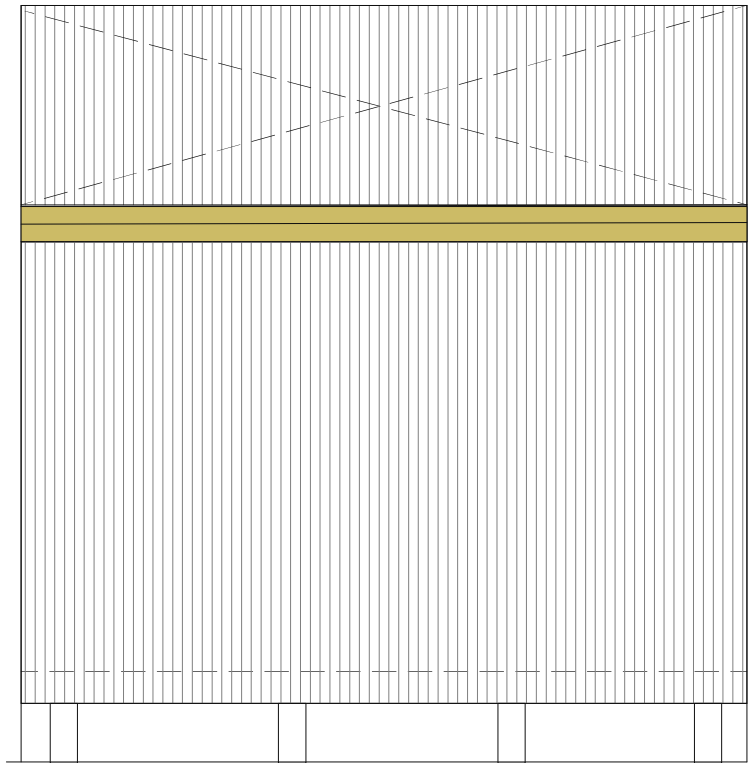
Windows

All windows within the insulated envelope to be Double Glazed
All Glazing to comply with NZS 4223.

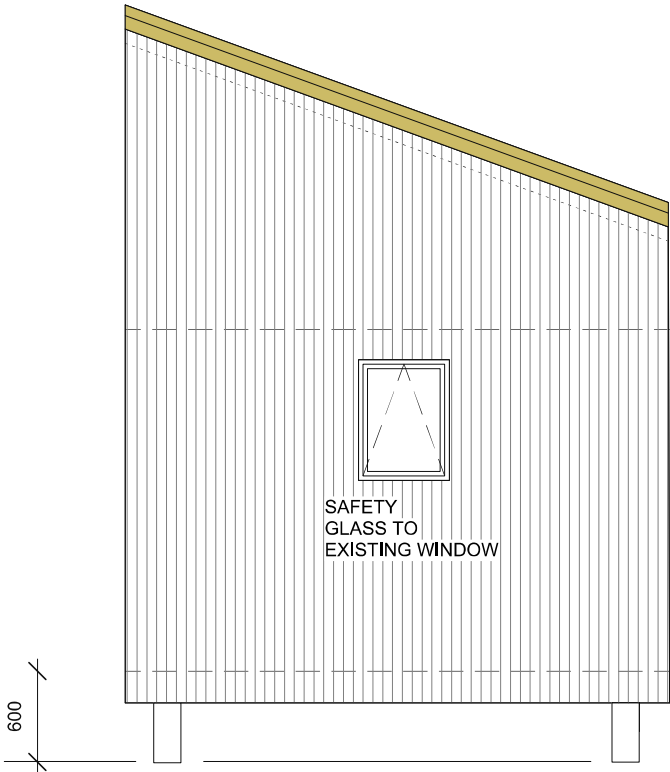
WET AREAS FLOORS

FLOORS SHALL BE COATED WITH 3 COATS OF POLYURETHANE E3/AS1 3.1.1 (F)

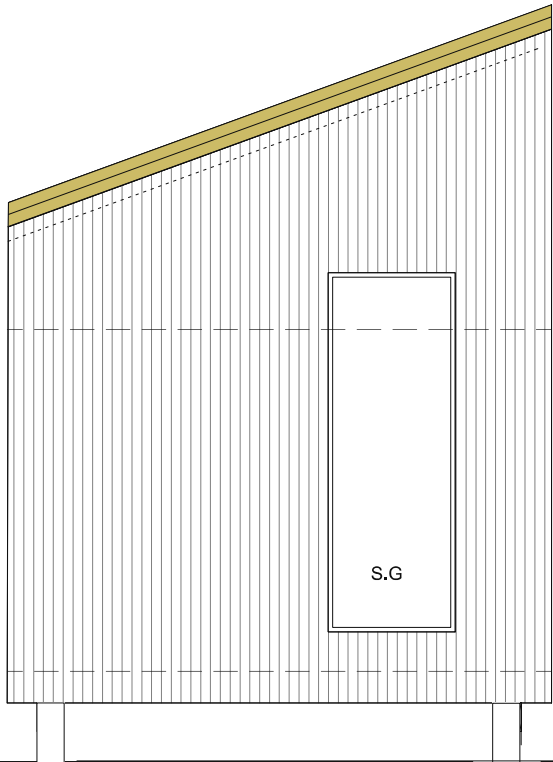
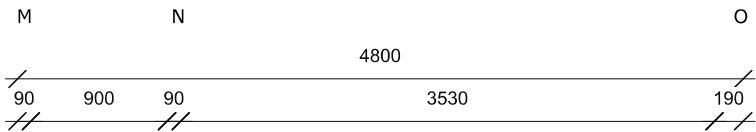
O = Obscure
SG = Grade A Safety Glass
RS = Sashes fitted with Restrictor Stays



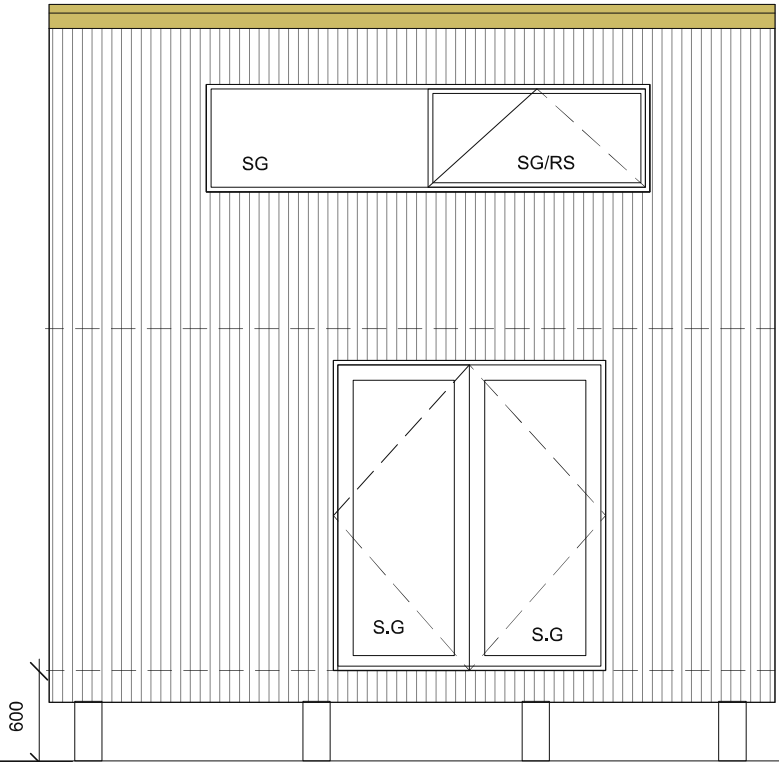
WEST ELEVATION



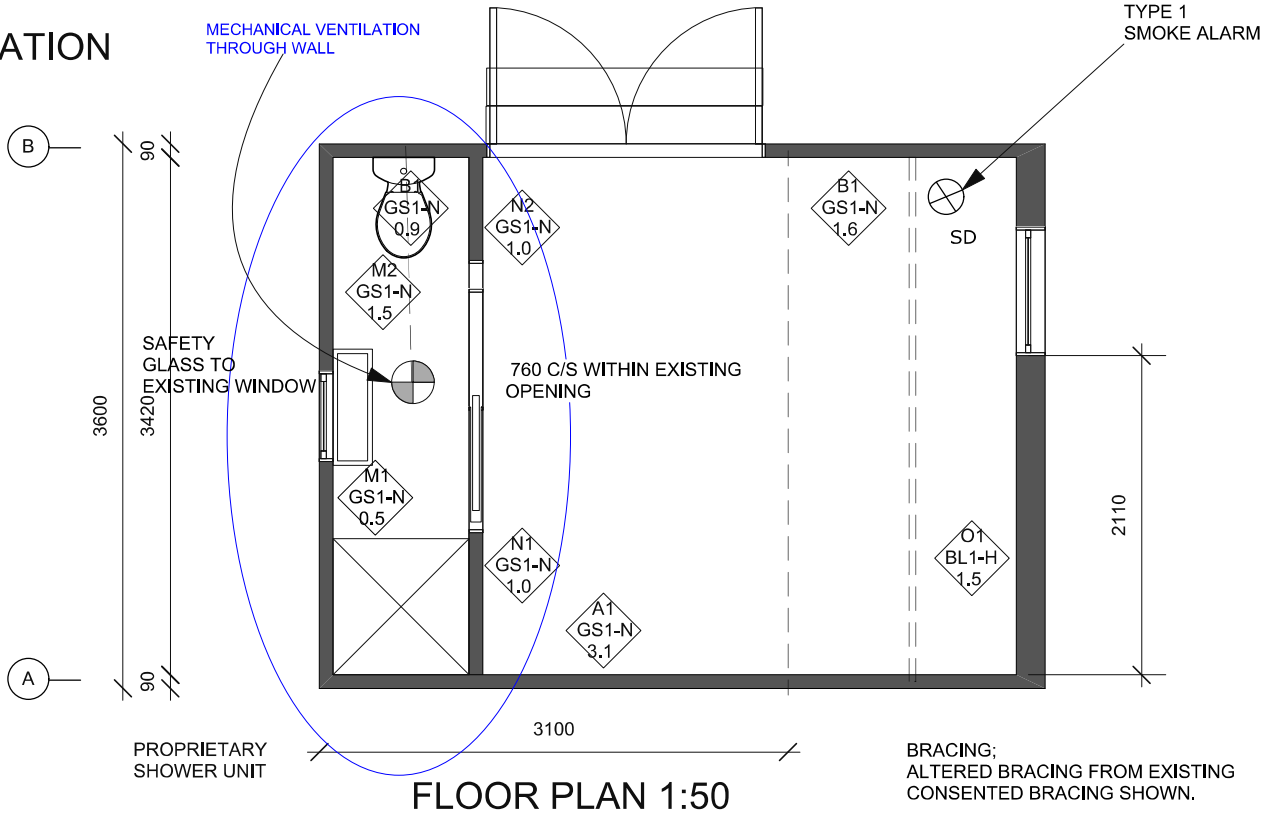
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



FLOOR PLAN 1:50

AMENDED 01.05.2020 VENTILATION TO BATHROOM NOTED

SLEEPOUT BATHROOM

ELEVATIONS

FOR S MCLEOD & T EVANS
31 PINEVIEW WAY
MOTUEKA

DRAWN G BENJAMIN
0211449153
DATE 02/04/2020

SCALE 1:50
@A3
REVISION 1

3/3

Bracing details -sleepout amd _____	2
Design Memorandum-sleepout _____	16
J-Waste water design _____	19





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Demand Calculation Sheet

Job Details

Name:	Evans & Mcloud
Street and Number:	31 Pineview Way
Lot and DP Number	
City/Town/District	Motueka
Designer	GJB
Company	
Date	18.04.2019

Building Specification

Number of Storeys	2	
Floor Loading	2 kPa	
Foundation Type	Subfloor	
Subfloor Cladding Weight	Light	
	Upper	Lower
Cladding Weight	Light	Light
Roof Weight	Light	Light
Room in Roof Space	No	No
Roof Pitch (degrees)	20	25
Roof Height above Eaves (m)	1.5	1.5
Building Height to Apex (m)	5	
Ground to Lower Floor (m)	0.6	
Lower to Upper Floor (m)		2.3
Average Stud Height (m)	1.2	2
Building Length (m)	3	4.8
Building Width (m)	3.6	3.6
Building Plan Area (m²)	11	17

Building Location

Wind Zone = Extra High

Earthquake Zone 2

Soil Type: D & E (Deep to Very Soft)
Annual Prob. of Exceedance: 1 in 1000 (x 1.3)

Bracing Units required for Wind

	Along	Across
Upper Level	130	77
Lower Level	309	325
Subfloor Level	488	564

Bracing Units required for Earthquake

	Along & Across
Upper Level	107
Lower Level	288
Subfloor Level	326



GIB EzyBrace® Bracing Software

Upper Level Along Resistance Sheet

Job Name: Evans & Mcloud

Timber Floor Limit of 120 BUs/m Applied

									Wind	EQ
									Demand	
									130	107
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind BUs	EQ BUs	325 250%	283 264%
a	1	3.00		.6	GS1-N	GIB®	207	180		
	External Length = 4.8								207 OK	180 OK
b	1	1.00		1.9	BL1-H	GIB®	118	103		
	External Length = 4.8								118 OK	103 OK



GIB EzyBrace® Bracing Software

Upper Level Across Resistance Sheet

Job Name: Evans & Mcloud

Timber Floor Limit of 120 BUs/m Applied

									Wind	EQ
									Demand	
									77	107
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind BUs	EQ BUs	336 436%	305 285%
m	1	3.40		1.2	GS1-N	GIB®	235	204		
	External Length = 3.6								235 OK	204 OK
n	1	0.55		4.0	BLP-H	GIB®	40	40		
	2	0.75		3.5	BLP-H	GIB®	62	62		
	External Length = 3.6								101 OK	101 OK



GIB EzyBrace® Bracing Software

Lower Level Along Resistance Sheet

Job Name: Evans & Mcloud

Timber Floor Limit of 120 BUs/m Applied

									Wind	EQ
									Demand	
									309	288
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind BUs	EQ BUs	381 123%	335 116%
A	1	3.10		2.1	GS1-N	GIB®	214	186		
	External Length = 4.8								214 OK	186 OK
B	1	0.90		2.1	GS1-N	GIB®	57	53		
	2	1.60		2.1	GS1-N	GIB®	110	96		
	External Length = 4.8								167 OK	149 OK

GIB EzyBrace® Bracing Software

Lower Level Across Resistance Sheet

Job Name: Evans & Mcloud

Timber Floor Limit of 120 BUs/m Applied

									Wind	EQ
									Demand	
									325	288
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind BUs	EQ BUs	381 117%	342 119%
M	1	0.50		2.1	GS1-N	GIB®	28	29		
	2	1.50		2.1	GS1-N	GIB®	104	90		
	External Length = 3.6								131 OK	119 OK
N	1	1.00		2.1	GS1-N	GIB®	65	60		
	2	1.00		2.1	GS1-N	GIB®	65	60		
									130 OK	119 OK
O	1	1.50		3.6	BL1-H	GIB®	120	104		
	External Length = 3.6								120 OK	104 OK



GIB EzyBrace® Bracing Software

Subfloor Level Along Resistance Sheet

Job Name: Evans & Mcloud

									Wind	EQ
									Demand	
									488	326
									Achieved	
Line	Element	Length (m)	Angle (degrees)		Type	Supplier	Wind BUs	EQ BUs	1280 262%	960 294%
A	1	4.00			Anchor Pile	NZS3604	640	480		
	External Length = 4.8								640 OK	480 OK
B	1	4.00			Anchor Pile	NZS3604	640	480		
	External Length = 4.8								640 OK	480 OK



GIB EzyBrace® Bracing Software

Subfloor Level Across Resistance Sheet

Job Name: Evans & Mcloud

									Wind	EQ
									Demand	
									564	326
									Achieved	
Line	Element	Length (m)	Angle (degrees)		Type	Supplier	Wind BUs	EQ BUs	1280 227%	960 294%
M	1	4.00			Anchor Pile	NZS3604	640	480		
	External Length = 3.6								640 OK	480 OK
N	1	4.00			Anchor Pile	NZS3604	640	480		
	External Length = 3.6								640 OK	480 OK

Custom Wall Elements

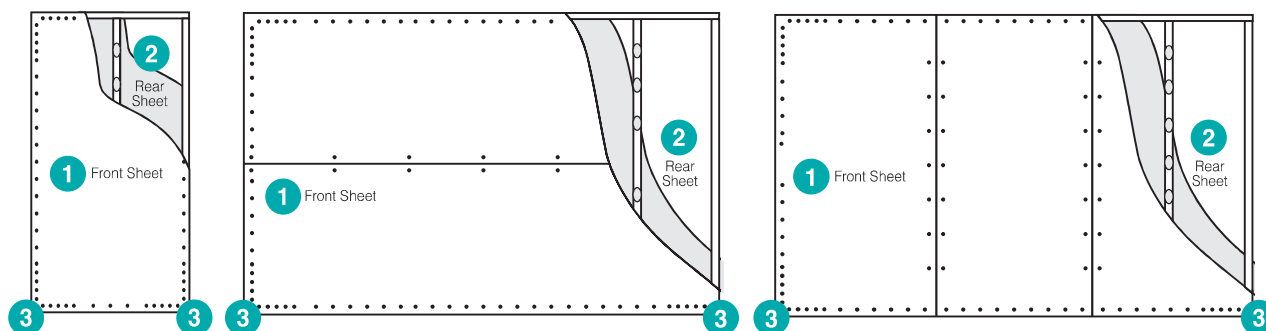
Supplier	System	Min. Length m	Wind BUs/m	EQ BUs/m
CHH	EP1	.6	130	130

Custom Subfloor Elements

Supplier	System	Min. Length m	Wind BUs or BUs/m	EQ BUs or BUs/m



5.1.1 Installation Summary



Sheet Installation						
	Front Sheet 1		Rear Sheet 2		Panel Hold-Down Fixings 3	Fastener Spacing
	Lining	Fasteners	Lining	Fasteners		
GS2-NOM	Any 10mm or 13mm GIB® plasterboard	Minimum 32mm x 6g GIB® Grabber® high thread screws	Any 10mm or 13mm GIB® plasterboard	Minimum 32mm x 6g GIB® Grabber® high thread screws	Not Required	Corner fastening pattern as illustrated on p. 65. All four corners of GS2-NOM bracing element must be fastened at 50mm and 250mm from the edge of the sheet at 300mm centres
GS1-N	Any 10mm or 13mm GIB® plasterboard	Minimum 32mm x 6g GIB® Grabber® high thread screws	Not Required	Not Required	Not Required	GIB® Plasterboard Corner fastening pattern as illustrated on p. 65 Fasteners at 150mm to bracing element perimeter and: at 300mm centres to intermediate sheet joints for vertical fixing, or at stud/sheet junction for horizontally fixed elements, and GIBFix® adhesive daubs at 300mm are to intermediate framing Structural Plywood Fasteners at 150mm around the perimeter of every sheet and at 300mm centres to intermediate studs. Place fasteners no closer than 7mm from sheet edges. Plasterboard corner fastener pattern does not apply to plywood
GS2-N			Any 10mm or 13mm GIB® plasterboard	32mm x 6g GIB® Grabber® high thread screws		
GSP-H			Minimum 7mm structural plywood manufactured to AS/NZS 2269	50mm x 2.8mm flat head galvanised or stainless steel nails	Yes	
BL1-H	10mm or 13mm GIB Braceline®	Minimum 32mm x 6g GIB® Grabber® high thread screws	Not required	Not required		
BLG-H			Any 10mm or 13mm GIB® plasterboard	32mm x 6g GIB® Grabber® high thread screws		
BLP-H			Minimum 7mm structural plywood manufactured to AS/NZS 2269	50mm x 2.8mm flat head galvanised or stainless steel nails		

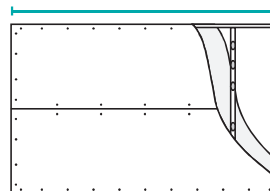
Note: Minimum bracing element length is 400mm

5.1.2 System Specifications

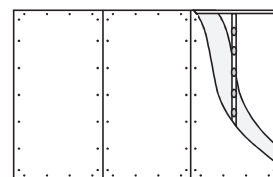
GS2-NOM

1. 10mm or 13mm GIB® Standard plasterboard fixed to each side of the wall framing
2. Corner fastening pattern applies (see p. 65)
3. 32 x 6g GIB® Grabber® screws or GIB® Grabber® Dual Thread screws at 300mm to perimeter
4. Panel hold downs not required
5. Centre of the sheet may be fixed with adhesive or fastenings at 300mm
6. Joints and fastener heads must be stopped
7. GIB® tape must be used in joints
8. Sheets may be fixed horizontally or vertically

Bracing Element – Plasterboard side shown



Horizontal Fixing

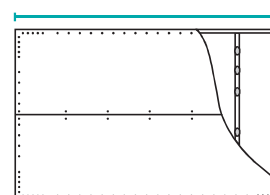


Vertical Fixing

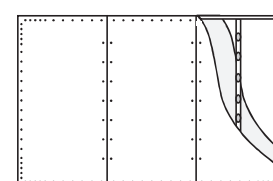
GS1-N

1. Any 10mm or 13mm GIB® plasterboard to one side of the wall only
2. Corner fastening pattern applies (see p. 65)
3. 32 x 6g GIB® Grabber® screws or GIB® Grabber® Dual Thread screws at 150mm to perimeter
4. Centre of the sheet may be fixed with adhesive or fastenings at 300mm
5. Panel hold downs not required
6. Joints and fastener heads must be stopped
7. GIB® tape must be used in joints
8. Sheets may be fixed horizontally or vertically

Bracing Element – Plasterboard side shown



Horizontal Fixing

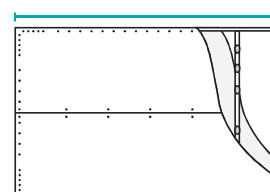


Vertical Fixing

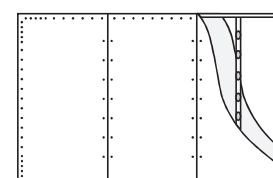
GS2-N

1. Any 10mm or 13mm GIB® plasterboard to both sides of the wall. Both sides fixed as bracing elements
2. Corner fastening pattern applies (see p. 65)
3. 32 x 6g GIB® Grabber® screws or GIB® Grabber® Dual Thread screws at 150mm to perimeter
4. Centre of the sheet may be fixed with adhesive or fastenings at 300mm
5. Panel hold downs not required
6. Joints and fastener heads must be stopped
7. GIB® tape must be used in joints
8. Sheets may be fixed horizontally or vertically

Bracing Element – Plasterboard side shown



Horizontal Fixing

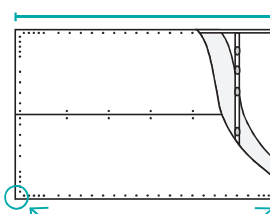


Vertical Fixing

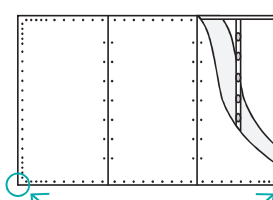
GSP-H

1. Any 10mm or 13mm GIB® plasterboard to one side of the wall
2. 7mm structural plywood to the other side
3. Corner fastening pattern applies (see p. 65)
4. 32 x 6g GIB® Grabber® screws or GIB® Grabber® Dual Thread screws at 150mm to perimeter (plasterboard side) 50 x 2.8mm FH nails at 150mm to perimeter. Corner fastening pattern not applicable to plywood side
5. Panel hold downs required
6. Centre of the sheet may be fixed with adhesive or fastenings at 300mm
7. Joints and fastener heads must be stopped
8. GIB® tape must be used in joints
9. Sheets may be fixed horizontally or vertically

Bracing Element – Plasterboard side shown



Horizontal Fixing



Vertical Fixing

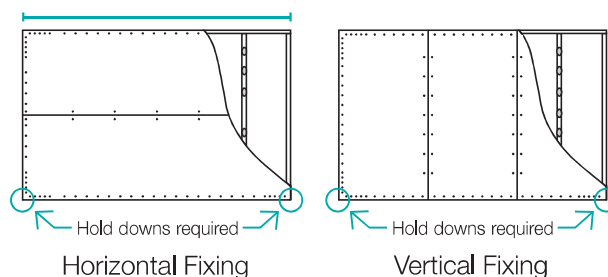


5.1.2 System Specifications

BL1-H

1. 10mm or 13mm GIB Braceline® to one side of the wall only
2. Corner fastening pattern applies (see p. 65)
3. 32 x 6g GIB® Grabber® screws or GIB® Grabber® Dual Thread screws at 150mm to perimeter
4. Centre of the sheet may be fixed with adhesive or fastenings at 300mm
5. Panel hold downs required
6. Joints and fastener heads must be stopped
7. GIB® tape must be used in joints
8. Sheets may be fixed horizontally or vertically

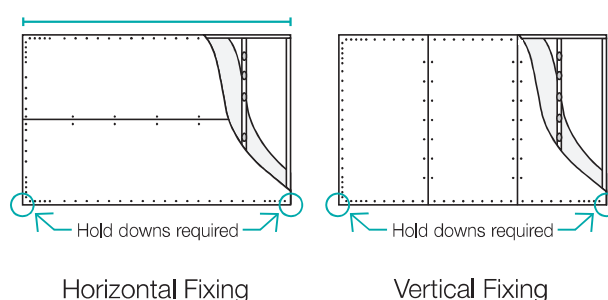
Bracing Element – Plasterboard side shown



BLG-H

1. 10mm or 13mm GIB Braceline® to one side of the wall
2. Any 10mm or 13mm GIB® plasterboard to the other side. Both sides fixed as bracing elements
3. Corner fastening pattern applies (see p. 65)
4. 32 x 6g GIB® Grabber® screws or GIB® Grabber® Dual Thread screws at 150mm to perimeter
5. Centre of the sheet may be fixed with adhesive or fastenings at 300mm
6. Panel hold downs required
7. Joints and fastener heads must be stopped
8. GIB® tape must be used in joints
9. Sheets may be fixed horizontally or vertically

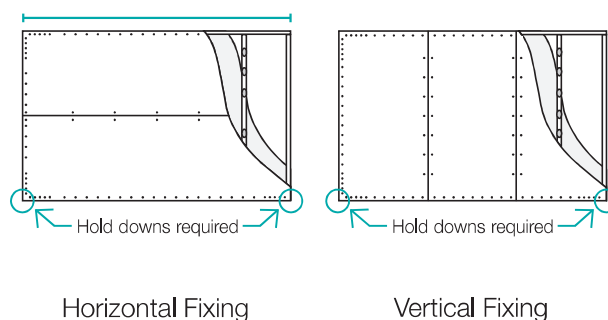
Bracing Element – Plasterboard side shown



BLP-H

1. 10mm or 13mm GIB Braceline® to one side of the wall only
2. 7mm structural plywood to the other side
3. Corner fastening pattern applies (see p. 65)
4. 32 x 6g GIB® Grabber® screws or GIB® Grabber® Dual Thread screws at 150mm to perimeter (plasterboard side), 50 x 2.8mm FH nails at 150mm to plywood perimeter. Corner fastening pattern not applicable (plywood side)
5. Panel hold downs required
6. Centre of the sheet may be fixed with adhesive or fastenings at 300mm
7. Joints and fastener heads must be stopped
8. GIB® tape must be used in joints
9. Sheets may be fixed horizontally or vertically

Bracing Element – Plasterboard side shown



For sheet substitution options refer to p. 14.

5.1.3 Bottom Plate Fixing

Bottom Plate Fixings for GIB® Bracing Elements			
Brace Type	Concrete Slabs		Timber Floors
	External Walls	Internal Walls	External and Internal Walls
GS1-N	As per NZS 3604:2011 No specific additional fastening required	As per NZS 3604:2011 Alternatively use 75 x 3.8mm shot-fired fasteners with 16mm discs, 150mm and 300mm from each end of the bracing element and at 600mm thereafter.	Pairs of 100 x 3.75mm flat head hand driven nails or 3/90 x 3.15mm power driven nails at 600mm centres in accordance with NZS 3604:2011
GS2-N GS2-NOM	Not applicable		
GSP-H BL1-H BLP-H	Intermediate fastenings to comply with NZS 3604:2011 In addition: GIB HandiBrac® fixings or metal wrap-around strap fixings and bolt as illustrated on p. 63–64		Pairs of 100 x 3.75mm flat head hand driven nails or 3/90 x 3.15mm power driven nails at 600mm centres in accordance with NZS 3604:2011
BLG-H	Not applicable	As for GSP-H, BL1-H, BLP-H on concrete slab as illustrated on p. 63 & 64	In addition: GIB HandiBrac® fixings or metal wrap-around strap fixings and bolt as illustrated below

5.1.4 Panel Hold-Down Details

GIB HandiBrac® – Recommended Method			
<p>Developed in conjunction with MiTek™ NZ, the GIB HandiBrac® has been designed and tested for use as a hold-down in GIB® BL and GSP bracing elements.</p> <ul style="list-style-type: none"> — The GIB HandiBrac® registered design provides for quick and easy installation — The GIB HandiBrac® provides a flush surface for the wall linings because it is fitted inside the framing. There is no need to check into the framing as recommended with conventional straps — The GIB HandiBrac® is suitable for both new and retrofit construction — The design also allows for installation and inspection at any stage prior to fitting internal linings 			
Concrete Floors		Timber Floors	
External Walls	Internal Walls	External Walls	Internal Walls
<p>Position GIB HandiBrac® as close as practicable to the internal edge of the bottom plate</p>	<p>Position GIB HandiBrac® at the stud / plate junction</p>	<p>Position GIB HandiBrac® in the centre of the perimeter boundary joist</p>	<p>Position GIB HandiBrac® in the centre of floor joist or full depth solid block</p>
Hold-Down Fastener Requirements			
A mechanical fastening with a minimum characteristic uplift capacity of 15kN or use supplied BT 10/140 screw bolt in GIB HandiBrac® pack.		12 x 150mm galvanised coach screw or use supplied BT 10/140 screw bolt in GIB HandiBrac® pack.	

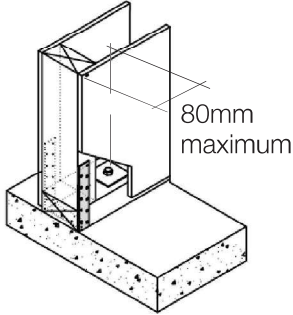
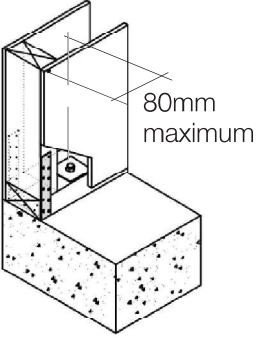
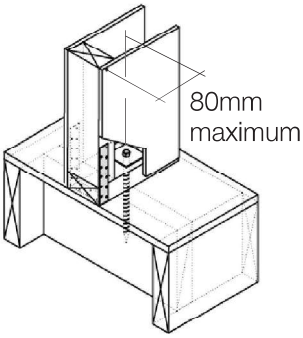
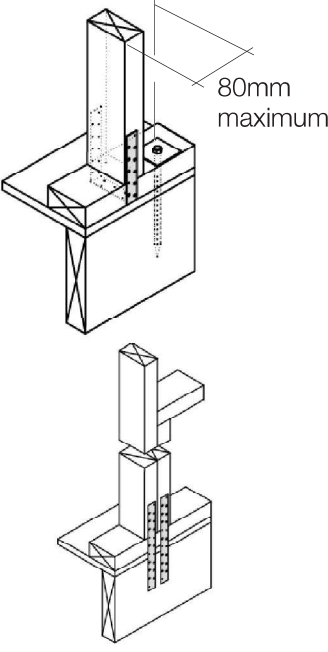
Bracing Strap Installation

Care needs to be taken with the installation of the bracing strap. It should be checked in to be flush with the face of the stud providing a flat substrate for the plasterboard. It should be positioned in such a way that the important corner fastenings of the bracing element are not affected by it. Keeping the strap to the edge of the end stud as shown will allow the important corner fastenings to be installed without having to penetrate the bracing strap.

Concrete Floors

Timber Floors

400 x 25 x 0.9mm galvanised strap to pass under the plate and up the other side of the stud. Six 30 x 2.5 flat head galvanised nails to each side of the stud. Three 30 x 2.5 flat head galvanised nails to each side of the plate. Hold down bolt with 50 x 50 x 3mm washer to be fitted within 80mm of the edge of the element.

Internal Walls	External Walls	Internal Walls	External Walls
			 <p>2/300 x 25 x 0.9mm galvanised straps with six 30 x 2.5mm flat head galvanised nails to each stud and into the floor joist and three nails to the plate. Block to nog fixed with 3/100 x 3.75mm nails to stud.</p>

Hold-Down Fastener Requirements

Concrete Floors

A mechanical fastening with a minimum characteristic uplift capacity of 15kN fitted with a 50 x 50 x 3mm square washer within 80mm of the ends of the bracing element.

Timber Floors

12 x 150mm galvanised coach screw fitted with a 50 x 50 x 3mm square washer within 80mm of the ends of the bracing element.

5.1.5 GIB EzyBrace® Corner Fastener Pattern

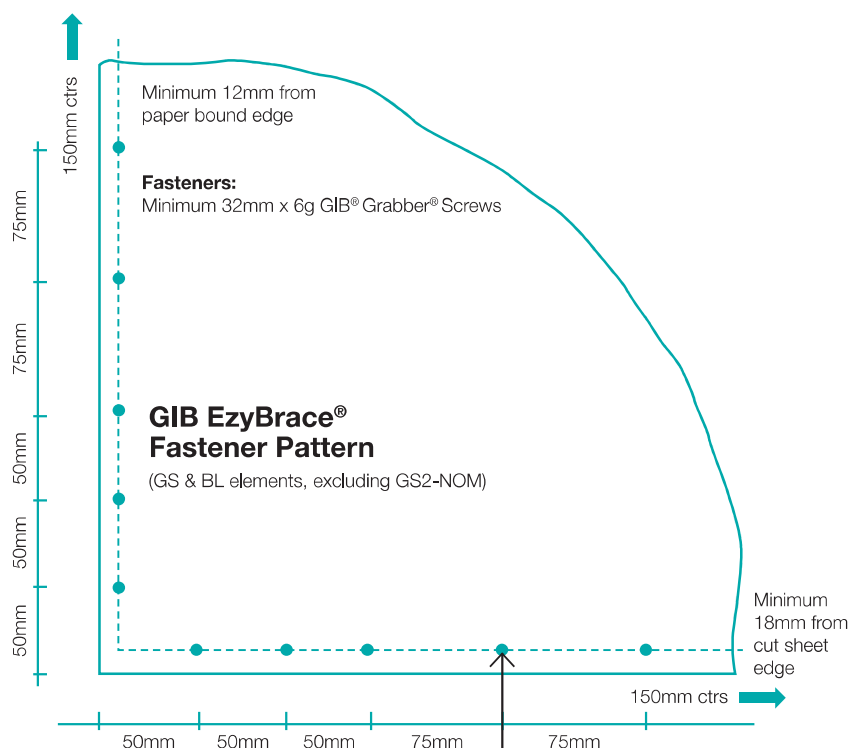
Corner Fastener Pattern for ALL 4 CORNERS OF GIB® Bracing Elements (excluding GS2-NOM).

- All four corners of a GIB® plasterboard bracing element must be fastened as per the fastening patterns shown below

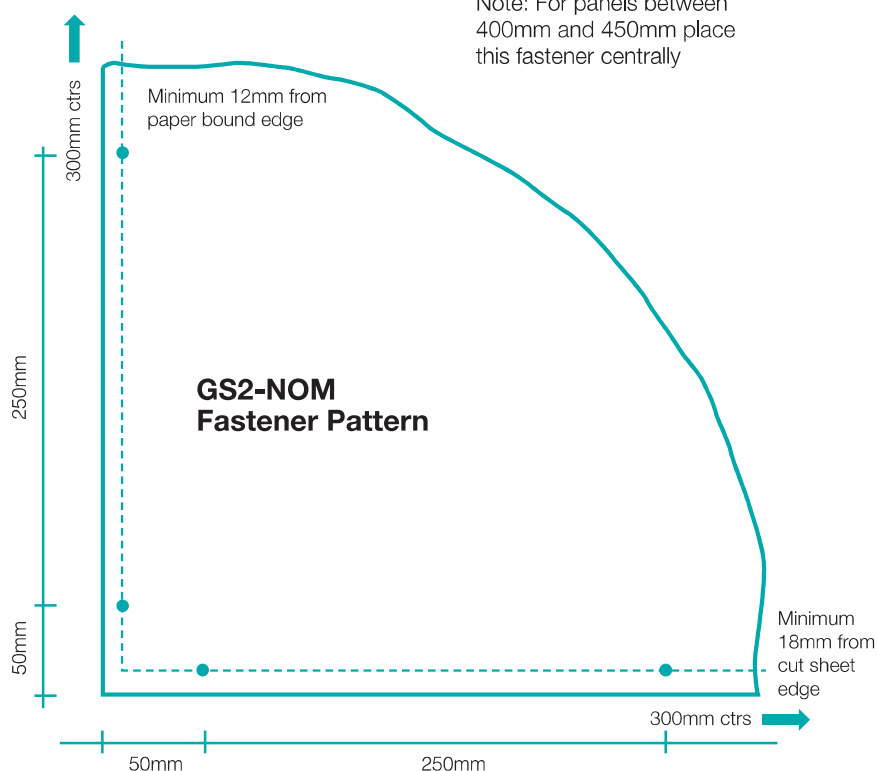
- Bracing element perimeter is then fastened at 150mm centres, or for GS2-NOM 300mm centres
- Fasteners must be no closer than 12mm from the paper enclosed edge and no closer than 18mm from sheet ends or cut edges of sheets

GIB EzyBrace® Corner Fastener Pattern

Unless specified all fastener spacings are maximums.



Note: For panels between 400mm and 450mm place this fastener centrally



Form 2A

Memorandum from licensed building practitioner: Certificate of design work**Section 30C or section 45, Building Act 2004****The building**

Street address of building:

31 Pineview Way**Motueka****The owner**

Name: T Evans & S Mcloud

Address: as above

Telephone number: 0211103643

Email address: themotlot@gmail.com

Identification of design work that is restricted building work

I carried out or supervised the following design work that is restricted building work:

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
<i>[Tick]</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>

Primary structure

Foundations and subfloor framing	()		() Carried out () Supervised	
Walls	()		() Carried out () Supervised	
Roof))	() Carried out () Supervised	
Columns and beams	()		() Carried out () Supervised	
Bracing	(/)	<i>Some only</i>	(/) Carried out () Supervised	easybrace
Other	()		() Carried out () Supervised	

External moisture management systems

Damp proofing	()		() Carried out	
---------------	-----	--	-----------------	--

		() Supervised	
Roof cladding or roof cladding system ()		() Carried out () Supervised	
Ventilation system (/) (for example, subfloor or cavity)		(/) Carried out () Supervised	E2/AS1
Wall cladding or wall cladding system ()		() Carried out () Supervised	
Waterproofing ()		() Carried out () Supervised	
Other ()		() Carried out () Supervised	

Fire safety systems

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other ()		() Carried out () Supervised	
--	--	-----------------------------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

Are waivers or modifications of the building code required? () Yes (/) No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

Issued by

Name: G Benjamin

LBP or registration number: 105877

The practitioner is a: (/) Design LBP () Registered architect () Chartered professional engineer

Mailing address: 15 Sunnybank Rise, Nelson

Street address or registered office:

Phone number: Landline:

Mobile:
0211449153

Daytime:

After hours:

Fax number:

Email address: gregsdsgn@outlook.com

Website:

Declaration

I Gregory John Benjamin [name of practitioner]

State that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work described on this form and that based on this I also state that the RBW

(a) complies with the building code; or

Signature:



Date: 02.04.2020



Onsite Wastewater Management Service Design Proposal

Report for

**Toni Evans and Sam McLeod
31 Pineview Way, Motueka Valley**

12 April 2019



**Prepared by
Kiwi Pioneer Co Ltd**

Document control sheet

Client		Toni Evans and Sam McLeod		Job #	190411D610
Project Title		Onsite wastewater management service design proposal			
Document Title		Wastewater Design Proposal			
Document Ref.		D610			
This Document Comprises		Total No. of Pages	List of Figures	List of Tables	No. of Appendices
		20	4	3	5
Ref.	Status	Author(s)	Review	Office of Origin	Issue Date
WDP	Draft	Andy Williams	Mike Copeland	Motueka	12 April 2019
WDP v.1	Client issue	Andy Williams	Environment Technology	Motueka	12 April 2019
WDP v.2	Client issue	Mike Copeland	Greg Benjamin	Motueka	15 April 2019
WDP v.3	Client issue	Mike Copeland		Motueka	19 April 2019



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E-mail: mike@kiwipioneer.co.nz

Contents

1. Introduction	4
2. Site assessment.....	6
2.1 Soil investigation	6
2.2 Key findings	6
2.3 Topography	6
2.4 Water supply	6
2.5 Surface water, groundwater and wells	6
3. Wastewater design flow allowances	6
4. Proposed onsite wastewater management service	7
4.1 Influencing factors.....	7
4.2 Proposed onsite wastewater management system	7
4.3 Maintenance	7
5. Consent requirements	10
5.1 Tasman District Council Rules	10
5.2 Building Act 2004 and regulations	10
6. Proposed OWMS Summary	10
7. Statement of Design	11
FIGURE 1: LOCATION OF SITE.....	4
FIGURE 2: OWMS SCHEMATIC	7
FIGURE 3: OWMS LOCATION WITHIN THE SITE	8
FIGURE 4: OWMS SITE MAP	9
TABLE 1: SPECIFICATION SUMMARY FOR PROPOSED OWMS	5
TABLE 2: WASTEWATER DESIGN FLOW ALLOWANCE: DWELLING + UNIT + SLEEPOUT	6
TABLE 3: PROPOSED ONSITE WASTEWATER MANAGEMENT SERVICE.....	7
Appendix A: Soil investigation results.....	12
Appendix B: OWMS Components and Installation Specifications.....	14
Appendix C: Operation and Management of On-site Wastewater Service.....	18
Appendix D: TRMP 2011 Rule 36.1.2.4 – permitted activity conditions	20
Appendix E: Building Act 2004 requirements	20

1. Introduction

Kiwi Pioneer Co Ltd has been engaged by Toni Evans and Sam McLeod to provide a design proposal for the onsite wastewater management service (OWMS) of a proposed three-bedroom dwelling a one bedroom unit and one bedroom sleepout at 31 Pineview Way, Motueka Valley.

Site visits were undertaken by Kiwi Pioneer Co Ltd on 4 August 2018 and 8 March 2019. This report outlines the site and soil constraints, proposes an OWMS and assesses consent requirements. This proposal has been carried out in accordance with AS/NZS 1547:2012: *On-site domestic wastewater management* and the Tasman Resource Management Plan (TRMP) 2011.

Property owner	Toni Evans and Sam McLeod
Contact details:	PO Box 316 Motueka 7143 Ph. 021 110 3643 themotlot@gmail.com
Legal description:	Lot 10 DP 519728
Land area	0.35ha
Location	NZTM: E-1596149 - N-5445320
District Council:	Tasman

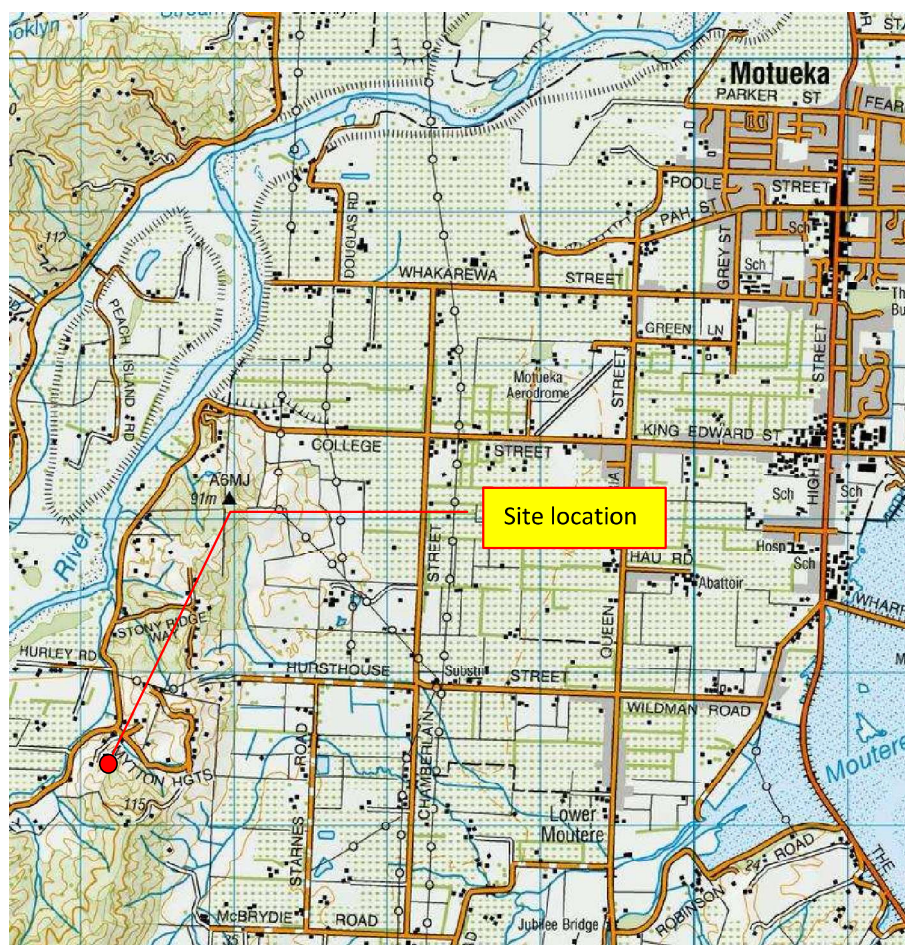


FIGURE 1: LOCATION OF SITE

TABLE 1: SPECIFICATION SUMMARY FOR PROPOSED OWMS

Area of property	0.35ha
No. of bedrooms	5 (3 Dwelling + 1 unit + 1 sleepout)
Design occupancy	9 population equivalents (pe) – 5 dwelling + 2 unit + 2 sleepout
Water supply	Roof supply
Soil type	Category 3 – Fine sandy loam (ASNZS1547:2012 Table E1)
Topography	Hillside slope
Proposed OWMS and design flow for dwelling and two units	
Proposed OWMS	Septic tank to AES sand bed
Septic tank capacity	5000L – Alpha Precasts ST5000 (ASNZS1547:2012 Table J1)
Daily wastewater flow rate	1305L – allowance is 145L/person/day - roof supply with standard water reduction fixtures installed. (ASNZS 1547:2012 Table H3)
Design loading rate (DLR)	20mm/day
AES sand bed area required	65m ²
Set backs	
Separation to nearest boundary	9m to western boundary
Separation to nearest surface water	300m north east to man-made pond on Mytton Heights
Separation to ground water	>2m
Separation to nearest well	n/a
Discharge consentability	
Discharge meets all conditions of TRMP Rule 36.1.2.4: permitted activity	

2. Site assessment

2.1 Soil investigation

Site visits were carried out by Kiwi Pioneer Co Ltd on 4 August 2018 and 8 March 2019. Six test pits (TP) were dug by hand with a shovel and soil auger to depths of up to 1000mm, however, only 3 were located where the proposed land application area (LAA) will be. For soil type TP5 was chosen as indicative of the soil at the site. For soil investigation results refer to Appendix A.

2.2 Key findings

The soil profile is well structured clay loam topsoil over compacted granite sand. For wastewater design purposes the soil is **Category 3, Fine sandy loam**, with no structure. This soil type has a design loading rate (DLR) of 30mm/day for secondary treated effluent (ASNZS 1547:2012 Table L1). However, due to the soil being compacted or less weathered, and thus less permeable, Kiwi Pioneer will use the lower DLR of 20mm at this site.

2.3 Topography

The site is set among rolling foot-hills. The proposed LAA is situated on an excavated building platform.

2.4 Water supply

The property is served by roof water supply.

2.5 Surface water, groundwater and wells

The nearest surface water is a pond 300m northeast, at its closest point, of the proposed land application area (LAA). Groundwater was not encountered during the soil investigation and is estimated to be >2m below ground level (BGL) at the LAA location. There are no wells within the vicinity with all local dwellings using roof water for supply.

3. Wastewater design flow allowances

In accordance with ASNZS 1547:2012, Table H3 the wastewater flow allowance for a dwelling on roof water supply with standard water reduction fixtures is 145 litres per person per day. The water reduction fixtures will comply with NZ's Water Efficiency Labelling Scheme (WELS):

- 4 star or better toilets
- 3 star or better shower head
- 5 star kitchen and bathroom tap ware
- 4.5 star dishwasher and washing machine

TABLE 2: WASTEWATER DESIGN FLOW ALLOWANCE: DWELLING + UNIT + SLEEPOUT

No. of bedrooms	5	
Maximum occupancy	9	Persons/day (ASNZS 1547:2012 Table J1)
Daily per capita flow	x 145	Litres/person/day, roof supply (ASNZS 1547: 2012, Table H3)
Daily flow allowance	= 1305	Litres/day

4. Proposed onsite wastewater management service

4.1 Influencing factors

– Soil type

The soil at the site is a Category 3, Fine sandy loam (weathered granite sand) with no structure. This soil type is suitable for receiving secondary treated effluent at a design loading rate of 20mm/day (AS/NZS 1547:2012, Table L1). An AES sand bed, with its secondary treatment processes, is a suitable wastewater disposal system for this soil type.

– Client's preference

The client's preference is to have a passive system. The proposed OWMS utilises an AES sand bed and will not require power and thus meets this requirement.

4.2 Proposed onsite wastewater management system

In consideration of the above factors the following OWMS is proposed:

Septic tank to AES sand bed; refer to Table 3 and Figures 2 - 4.

For OWMS component and installation specifications refer to Appendix B.

TABLE 3: PROPOSED ONSITE WASTEWATER MANAGEMENT SERVICE

Primary treatment system	Septic tank – Alpha Precasts ST5000 or similar	
LAA	Maximum daily flow rate	1305L/day
	Design loading rate (DLR)	÷ 20mm/day
	LAA area required (min.)	= 65m ²

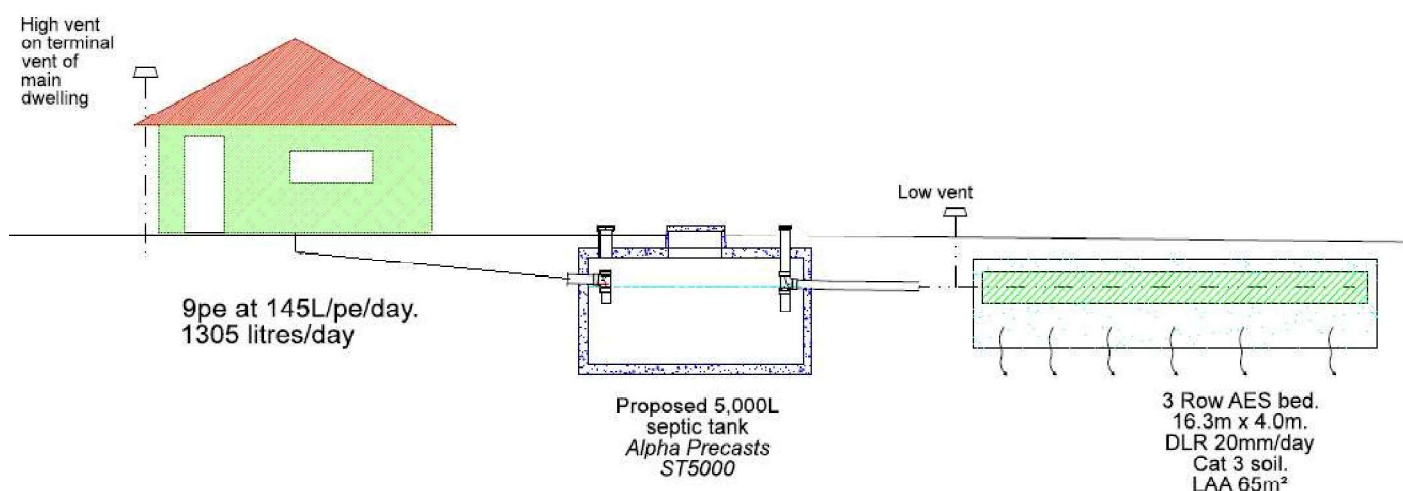


FIGURE 2: OWMS SCHEMATIC

4.3 Maintenance

The proposed wastewater service is a passive system and has been designed to operate with low maintenance requirements. For wastewater system management refer to Appendix C.

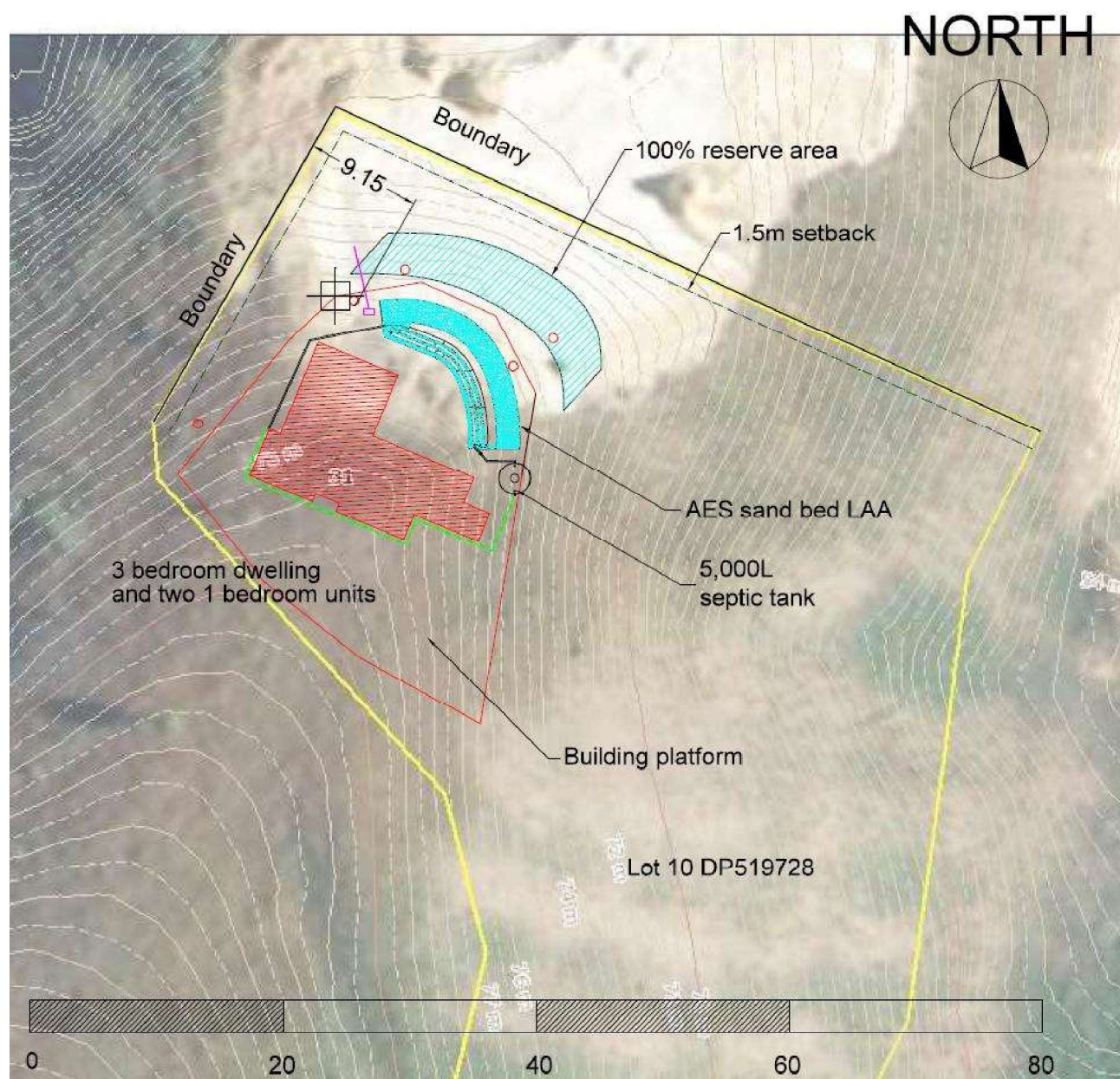


FIGURE 3: OWMS LOCATION WITHIN THE SITE

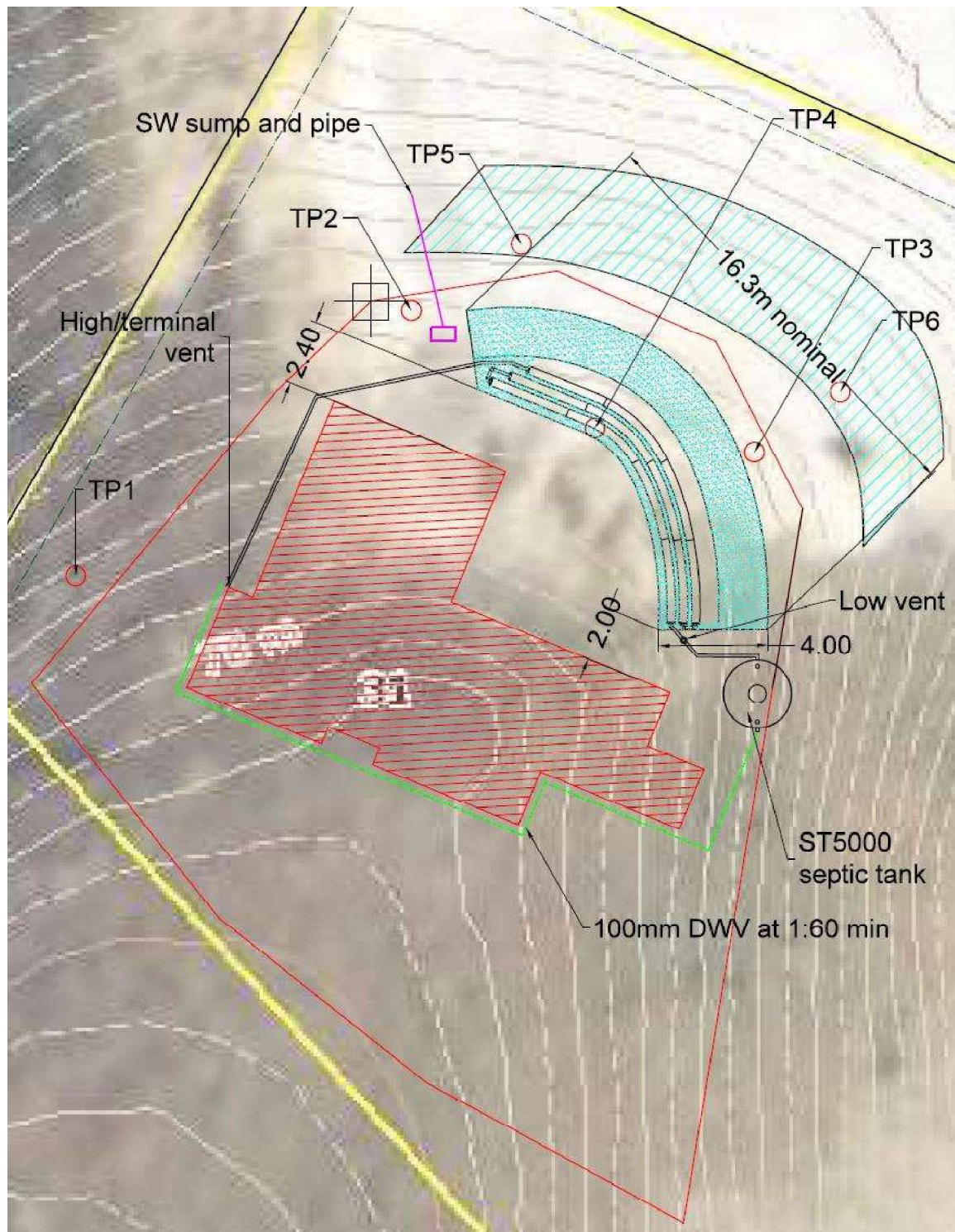


FIGURE 4: OWMS SITE MAP

5. Consent requirements

5.1 Tasman District Council Rules

The consentability of the proposed wastewater service has been assessed in terms of the TRMP Rule 36.1.2.4: *Discharge of Domestic Wastewater*.

It is Kiwi Pioneer Co's assessment that the proposed OWMS meets all conditions of Rule 36.1.2.4 and is therefore a **permitted activity**; refer to Appendix D.

5.2 Building Act 2004 and regulations

Kiwi Pioneer Co Ltd is satisfied that all Building Code requirements can be met; refer Appendix E.

6. Proposed OWMS Summary

The proposed OWMS meets all requirements of TRMP Rule 36.1.2.4 and achieves the required separation distances so there will be no adverse environmental effects on any groundwater, surface water, or neighbouring drain, or any threat to public, private or local ecosystem health.

7. Statement of Design

ISSUED BY: Kiwi Pioneer Co Ltd
TO: Toni Evans and Sam McLeod
TO BE SUPPLIED TO: Tasman District Council
IN RESPECT OF: On-site Wastewater Management Service for a proposed 3-bdrm dwelling attached 1 bedroom unit and 1 bedroom sleepout.
AT:
 NZ Grid Reference: NZTM2000 E-1596149 - N-5445320
 Legal Description: Lot 10 DP 519728
 District Council: Tasman
 Address: 31 Pineview Way,

Kiwi Pioneer Co Ltd has been engaged by Toni Evans and Sam McLeod to provide the technical design details for an on-site wastewater management service. The design has been carried out in accordance with AS/NZS 1547:2012: *On-site domestic wastewater management*.

Other resources used for this design are:

- ARC Environment 2004. *On-site wastewater disposal from households and institutions*. Auckland Regional Council. Technical Report 58.

For details of site assessment and design, refer to **Kiwi Pioneer Co Ltd Report 12 April 2019**.

This is an independent design, covered by a current policy of Professional Indemnity Insurance.

I BELIEVE ON REASONABLE GROUNDS that this design has been carried out accordance with best practice in wastewater design principles and procedures.

NOTE: This statement does not approve the installed system. Under certain conditions Kiwi Pioneer Co Ltd is available to certify the installed system. These conditions include:

- The technology supplier(s) takes full responsibility for the stated quality and performance of technologies and other hardware supplied;
- The installer(s) take full responsibility for installing the system as specified by Kiwi Pioneer Co Ltd report 12 April 2019 unless departure from the stated specification(s) are subsequently agreed between the installer and Kiwi Pioneer Co Ltd;
- Kiwi Pioneer Co Ltd is informed prior to installation, and is engaged, under separate contract, to supervise installation of all specified system components.
- Other conditions that may be specified by Kiwi Pioneer Co Ltd under the contract to supervise installation.

Disclaimer

The Client is to make full disclosure of relevant information on existing and/or proposed activities on the site that will influence estimation of likely daily wastewater quantity (potential number of bedrooms and other wastewater producing activities) and quality (in particular any chemicals in the water supply and/or wastewater stream potentially toxic to biological wastewater processes). This design is based on the site assessment carried out by Kiwi Pioneer Co Ltd. Subsequent changes to the site that might affect the topography and soil profiles are to be notified by the client. Failure, by the Client, to provide this information will invalidate this design producer statement.

Approval is to be sought from Kiwi Pioneer Co Ltd, should variations to the specification and layout in this report/drawing be considered necessary by the installer prior to or at the time of installation. Failure to do so will invalidate the Design Producer Statement and Kiwi Pioneer Co Ltd will no longer take responsibility for the design.



Date: 12 April 2019



Mike Copeland
Director: Kiwi Pioneer Co Ltd

Appendix A: Soil investigation results

Test pit 5



Total hole depth		1000mm
Sample taken at		700mm
Depth (mm)	Colour	Description
0 - 300		Top Soil. Well structured. 0% aggregates >2mm Colour – Brown
300 – 1000+		Weathered granite sand. No structure. 0% aggregates >2mm. Colour –Off white



Soil analysis

	Soil test
Pit or auger	TP 5
Sample depth	700
Colour	White
Structure	Nil
Bolus strength (coherence)	weak
Grittiness	High
Stickiness	Low
Sponginess	Low
Plasticity	Low
Stain	Low
Ribbon length (mm)	15
Soil type	Fine sandy loam
Soil category	3
Comments	Compacted

Test pit 6

Total hole depth		700mm
Depth (mm)	Colour	Description
0 – 200		Top soil. Well structured. 0% aggregates >2mm. Colour – Brown
200 - 700+		Granite sand. Less weathered than TP5. Auger can still penetrate. Colour – Off white

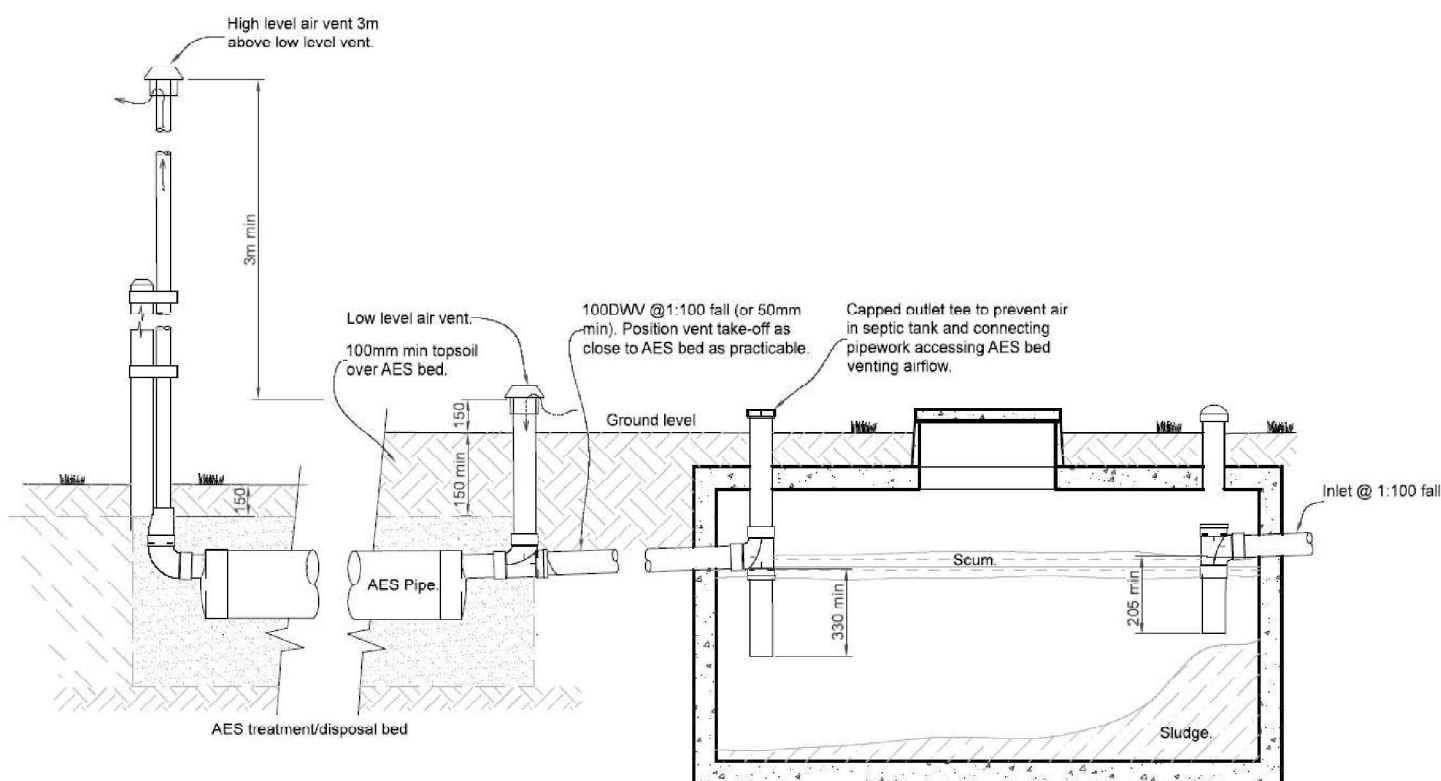


Appendix B: OWMS Components and Installation Specifications

1. Septic tank specifications

New tank	
Septic tank capacity	Alpha Precasts ST5000 or similar
Distance from buildings	Min. 3m
Inlet pipe diameter	100mm DWV pipe
Pipe gradient	1:100
Outlet filter	Not required
Outlet pipe diameter	100mm DWV
Installation Note: It is the installers responsibility to ensure the tank is anchored in the ground	

2. Septic tank and AES sand bed venting



Installation notes:

- The high vent is to be located at the back of the dwelling.
- Cap outlet tee to prevent airflow between septic tank and low vent. Failing this air entering the low vent may travel through the septic tank to the terminal vent, thereby precluding ventilation of the AES bed itself.

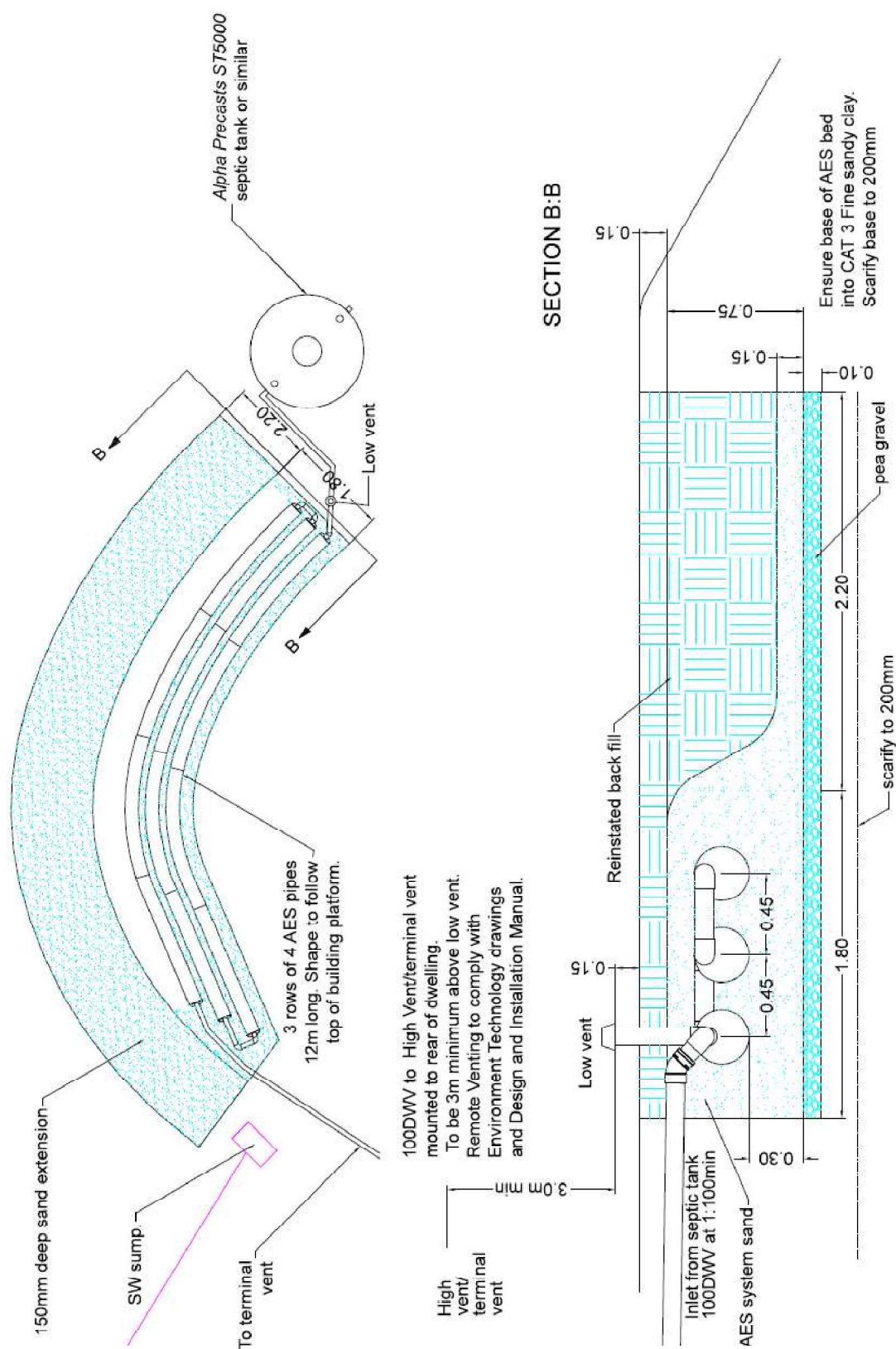
3. AES sand bed specifications

Delivery pipe from Septic tank	100mm DWV
Min. fall of delivery pipe	1:100
Design loading rate (DLR):	20mm/day (ASNZS1547:2012 Table L1)
Distance from property boundary	>1.5m
Low vents	100mm DWV 150mm above ground level
High vent	80-100mm DWV a minimum 3m above lower vent, located at back of the dwelling as terminal vent.
AES sand bed	
No. of AES pipe rows	3
No. of AES pipes per row	4
AES sand bed length	16.25m
AES sand bed width	4m (1.8m + 2.2m sand extension)
Total AES sand bed area	65m ²

4. Material quantities for AES sand beds with 1.3 bulking factor

Volume of system sand	34.4m ³
Volume of pea gravel	8.5m ³
Volume of top soil	reuse what is dug out
Number of AES pipes	12
Number of AES couplers	9
Number of AES off set adaptors	6
Oxygen demand vents	1

5. AES sand bed plan view and cross section



6. Installation Certificate

On-site Wastewater Completion of Works (PS3)

(To be completed by the installer)

Date:

Issues by:

To be supplied to: Tasman District Council

Site details

Address: 31 Pineview Way,
Legal Description: Lot 10 DP 519728
Client: Toni Evans and Sam McLeod

Description of OWMS:

- Installation of 5,000L septic tank;
- Installation of an AES sand bed: 4m x 16.25m = 65m²

Council consent number/date:.....

Installed in accordance with: Kiwi Pioneer Co Ltd Report, 12 April 2019 and conditions specified in council consent.

Date of site installation inspection:

By:

Report variations (if any):

Declaration

I believe on reasonable grounds that all of the wastewater works have been completed in accordance with Kiwi Pioneer Co Ltd report, 12 April 2019.

Installer's name

Signed:

Appendix C: Operation and Management of On-site Wastewater Service

Property location: 31 Pineview Way,
Property owner: Toni Evans and Sam McLeod
Prepared by: Kiwi Pioneer Co Ltd, Motueka

Date: 12 April 2019

A failed or failing wastewater system is not only a health risk to occupants and members of the public using the site, but also neighbours. Failure can cause nuisance odours, ponding and can be costly to fix!

Taking care about what is flushed or drained into the treatment system

Care must be taken by occupants of the dwelling to ensure large quantities of toxic substances do not enter the drainage system.

Minimize discharging the following substances:

- Bleaches, whiteners, nappy soakers, stain removers, disinfectants.
- Antibiotics.
- Sanitary pads, tampons, disposable nappies, condoms and excessive quantities of paper.
- Excessive fats, cooking oils and greases.
- Antiseptics liquids.

Do not discharge the following into the wastewater system;

- Alkaline detergents such as caustic soda;
- Acids, pesticides, herbicides, chemicals;
- Paints, varnishes and paint thinners;
- Drugs and pharmaceuticals;
- Motor oil;
- Sanitary napkins and other hygiene products
- Toys, clothing, plastic bags.....

To support the living ecology in the treatment tank and in the land application area:

- Use biodegradable soaps;
- Use a low-phosphorus detergent;
- Use a low-sodium detergent;
- Use detergents in the recommended quantities.

Apply common sense – there are living organism in the system breaking down normal body waste products and heavy doses of toxic substances will kill these essential organisms and cause the system to fail.

Avoid excessive water volumes entering the treatment system. This system comprises a Septic tank and AES sand bed, which have been designed for no more than 1305L per day of wastewater. Volumes in excess of this for periods of longer than four days are to be avoided.

Regular Maintenance

Septic tank servicing

Septic tanks and on-site waste water treatment systems need regular maintenance to work properly. Public health risks and the impact on the local ecological systems will be minimised if the system is well-maintained.

Some key points to note:

- Protect the tank from vehicle access and damage.
- Ensure access covers of the septic tank are easily exposed.
- Check the sludge level and surface scum thickness in the septic tank annually.
- Pump out tanks when the sludge (build-up of material on bottom of tank) and the scum takes up 1/2 or more of volume of tank's first chamber (check yearly).

AES sand bed

The sand bed needs to be demarcated to discourage access by unauthorised people and vehicles. Ensure air vents do not become overgrown or damaged so as to prevent inflow of air to the AES pipe work.

Planting

Deep rooting trees or shrubs should not be planted within 5m of the sand bed

Record keeping

File this report, as-built reports and consent documents. Maintain operational and monitoring records and required by Regional Council Consent. Maintain a written record of problems, servicing and maintenance of the wastewater system.

Change of ownership

The consent notice for the wastewater treatment system, its specifications and site plan must be kept in a handy and safe place. These are to be given to a new owner, if and when, a property changes ownership.

Appendix D: TRMP 2011 Rule 36.1.2.4 – permitted activity conditions

The discharge of domestic wastewater into land from an on-site wastewater treatment disposal field is a permitted activity that may be undertaken without a resource consent, if it complies with the following conditions:		Complies ✓ or ✗
a.	Any discharge first commencing after 19 September 1998 is not in any Special Domestic Wastewater Disposal Area.	
b.	Any discharge first commencing after 20 December 2003 is not within the Wastewater Management Area.	✓
c.	The volume of effluent discharged is not more than a weekly averaged flow of 2,000 litres per day.	✓
d.	There is no discharge or run-off of effluent into surface water.	✓
e.	The disposal field is located not less than: (i) 20 metres away from any surface water body, or the coastal marine area; (ii) 20 metres from any bore for domestic water supply; (iii) 1.5 metres from any adjoining property.	✓ ✓ ✓
f.	The design and operation of the system must result in the depth of unsaturated soil between the effluent disposal field and the average winter level of groundwater or of the basement rock being no less than 500 millimetres or sufficient to ensure that the discharge does not result in any bacterial contamination of groundwater beyond the property boundary.	✓
g.	There is no discharge of effluent from the disposal field to the ground surface.	✓
h.	The septic tank must be regularly desludged so that the liquid volume (excluding sludge and scum) is maintained at not less than one-third of the tank volume.	✓
i.	The discharge does not create an offensive or objectionable odour discernible beyond the property boundary.	✓
j.	An access point to allow sampling of the effluent being discharged to the disposal field must be provided with any on-site wastewater disposal system installed after 19 September 1998.	✓
k.	The quality of the effluent being discharged into the disposal field does not exceed the following standards: — BOD-5: 150 milligrams per litre — Total suspended solids: 150 milligrams per litre	✓

Appendix E: Building Act 2004 requirements

Code/clause	Requirements	Assessment
B1 Structural	The proposed structures are to be of such a standard to ensure public safety and protection of property.	The wastewater treatment system is a significant structural component and is required to conform to B1
B2 Durability	To ensure the durability of the “building”. The code implies durability of materials.	Kiwi Pioneer Co is confident that all component materials will, within reason, meets the durability requirements of B2.
G13 Foul water	This code applies to above-ground non-pressure (gravity flow) sanitary plumbing for buildings having 3 levels or less and includes all pipe work for foul water within, or on the building, including any basements.	All conditions and requirements under G13 can be met.
E1 Surface water	(a) Safeguard people from injury or illness, and other property from damage, caused by surface water, and (b) Protect the outfalls of drainage systems	All stormwater is to be diverted away from the LAA.

For use by consenting authorities - a signed calculator is a PS-2; proof of design review by ET.
 For use by wastewater system designers for sizing of AES wastewater treatment systems receiving residential strength wastewater. Supplied to ET with design/ drawings and then signed by ET

When ordering AES materials - installers please supply to ET a Design Calculator signed by ET and council consented plans.

Site Address	31 Pineview Way, Motueka Valley		
Client Name	Toni Evans and Sam McLeod		
Designed By	Kiwi Pioneer Co Ltd	Designer Phone #	021 654931
Installer		Installer Phone #	
Council Area	Tasman District Council	Drainlayer Licence #	
		Designer AES Cert. #	QLD00522
		Installer AES Cert. #	
		Date	11.04.2019

Receiving soil category, surface water, water tables & all other site constraints to be addressed by designer.

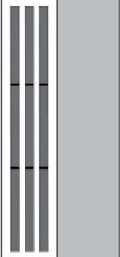
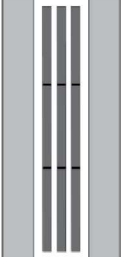
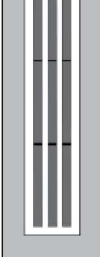
System designer's site and soil data. Enter data in light blue fields.		NOTES
Number of bedrooms	5	>> Enter "NA" if this design is for a campground, office, cafe etc without bedrooms.
Number of people	9	
Daily wastewater design flow allowance per person (l/p/d)	145	
Loading rate for AES pipes (L/m AES pipe/d)	38.0	>> Standard rate is 38 L/m AES pipe/d, averaged over a week. This is the NZ certified loading rate.
Do you want to use cut AES pipes - eg, 3.5 AES pipes per row? Y or N	n	
AES bed - No. of rows to suit site - max. AES pipe row length 30m/ 10x3m lgth	3	>> Longer AES beds increase contact area with surrounding soil.
Soil Category (per AS/NZS 1547) from site & soil evaluation	3	
Design Loading Rate (DLR) based on soil category (mm/day)	20	>> Soil conditioning may be necessary. Ref AS/NZS 1547/ TP58/ GD06 & Notes below.
Sand depth beneath AES pipes - standard 300mm tested 3.5 FC Log reduction	300	
Is there a pump between the septic tank and the AES bed? Y or N	n	>> Ensure there is 50mm min. fall between septic tank and AES pipes, and pipework laid at 1:100 min.
Is this property sloping? Y or N	y	
Is this design vented to the building terminal vent (TV)? Y or N	y	>> Fit inspection on TV to allow fitting of carbon filter if required.
Diameter of high vent (mm)	100	
Is sampling of the treated effluent required? Y or N	n	>> 65mm, 80mm or 100mm.
Distribution Box required Y or N	n	
		Number of ports required, including inlet port, and port for air vent if so designed.


NOTES: Increasing the pipe loading rate reduces the buffer capacity/ total volume of the pipes. The total volume of the AES pipes is 20,352L, which still allows room peak flows to be discharged over a relatively short time.

- Scarification of receiving surface is required in clay soil structures in Cat 4,5,6. In addition refer to AS/NZS 1547:2012, TP58 and GD06 (draft)
 Always excavate and scarify parallel to the site slope and the rows of AES pipe.

- All sloping sites require special consideration regarding design of AES bed, sand extensions, surface water and construction methods as per AS/NZS 1547.

- Drainlayers ensure good construction techniques ref. AS/NZS 1547 are especially important in these soil types. Ref AS/NZS1547 & AES installation Instructions.

Plan view: AES bed extensions			AES Bed Design Calculator Outcomes		AES Bed dimensions		
 AES pipe bed	 AES bed ext.	 One side	Daily design flow (Q)	1305.00 L/d		AES Pipe Bed	Bed Extension Area
			Min. length of AES pipe rows	11.45 m	Length (m)	12.60	
			No. of 3m AES pipes per row	4.00 lths	Width (m)	1.8	
			Total volume of AES pipes	2544.00 L	Sand Depth	0.75	0.15
					Area m2	22.68	42.57
			For 'Surrounding' extension or to increase bed length/ decrease width enter "Y" - otherwise leave blank:	y	If 'Y' enter custom width (m) of AES bed - otherwise leave blank:	4	
			Length (m)	Width (m)	Minimum AES footprint required 65.3m2		
The dimensions of this AES bed with surrounding extension or increased bed length/ decreased width are:			16.3	x	4	=	65.3 m2 total

AES Bed Schedule of Materials		ET Signature box - ET Use Only	
AES 3m length pipes required	12	 Signed by: Environment Technology Date & Time: 15 Apr, 2019 04:48:08 p.m. Producer Statement PS-2 Design Review - approved by ET. (Does not cover site and soil assessment by designer.)	
AES couplings required	9		
AES offset adaptors	6		
100mm vent cap with mesh	1		
Vent cowl for high vent	1		
80mm TV inspection with fittings			
Sample port not required			
Distribution box not required		Reviewed by: SVUHP 190415 Data entry by:	15/04/2019 15:09
Total AES System Sand required (guide only)	22.9		

To be used as a guide only; this AES Design Calculator is a design aid to assist calculating of the AES components and configuration. Site and Soil conditions as specified in NZS1547:2012 are calculated and designed by a **Qualified Designer**. Environment Technology has no responsibility for the soil evaluation, loading calculations or the DLR entered by the designer for this calculator.

*Residential Effluent is classed as having less than 300mg/L BOD5 and 350mg/L TSS prior to entry into the septic tank, and does not contain wastewater from industrial processes.
 AES pipes can be cut to length on site. AES pipes are supplied in 3 metre lengths only.

** AES-38 single pass system achieved 3.5 log reduction for FC in OSET-NTP Trial 12, 2016-17 benchmarking period.

***Microbial removal rates through medium sand - Pang (2009). *Microbial Removal Rates in Subsurface Media Estimated From Published Studies of Field Experiments and Large Intact Soil Cores*

To have a design reviewed and signed off by ET - Designers please email your AES Design Calculator and drawings to design@et.nz

To order AES components - installers please email your signed AES Design Calculator and council consented plans to info@et.nz

4. Proposed onsite wastewater management service

4.1 Influencing factors

– Soil type

The soil at the site is a Category 3, Fine sandy loam (weathered granite sand) with no structure. This soil type is suitable for receiving secondary treated effluent at a design loading rate of 20mm/day (AS/NZS 1547:2012, Table L1). An AES sand bed, with its secondary treatment processes, is a suitable wastewater disposal system for this soil type.

– Client's preference

The client's preference is to have a passive system. The proposed OWMS utilises an AES sand bed and will not require power and thus meets this requirement.

4.2 Proposed onsite wastewater management system

In consideration of the above factors the following OWMS is proposed:

Septic tank to AES sand bed; refer to Table 3 and Figures 2 - 4.

For OWMS component and installation specifications refer to Appendix B.

TABLE 3: PROPOSED ONSITE WASTEWATER MANAGEMENT SERVICE

Primary treatment system	Septic tank – Alpha Precasts ST5000 or similar	
LAA	Maximum daily flow rate	1305L/day
	Design loading rate (DLR)	÷ 20mm/day
	LAA area required (min.)	= 65m ²

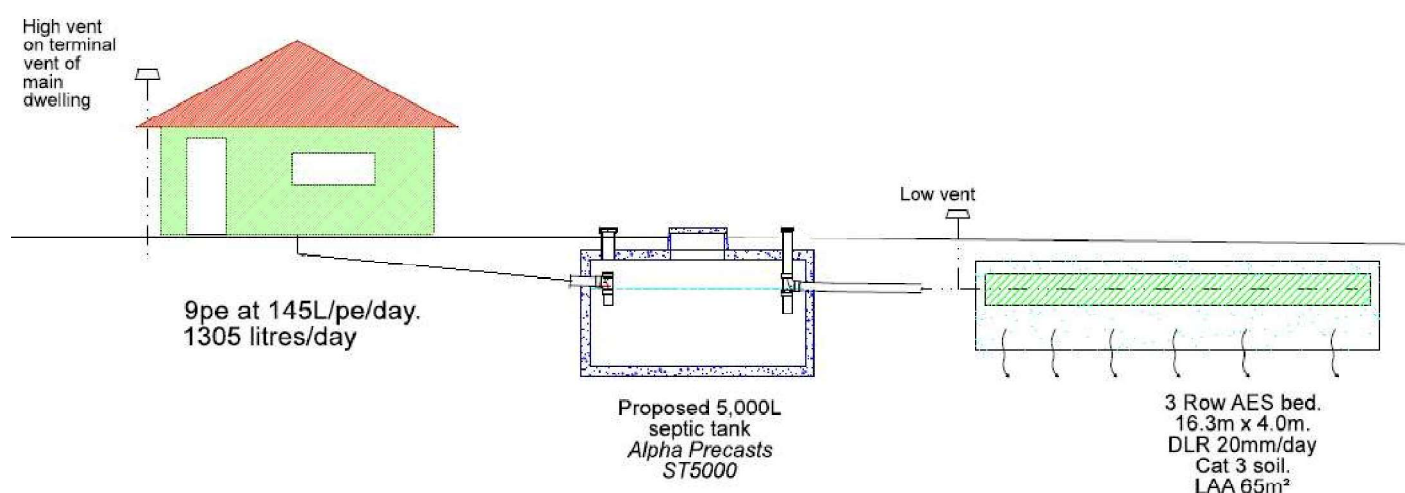


FIGURE 2: OWMS SCHEMATIC

4.3 Maintenance

The proposed wastewater service is a passive system and has been designed to operate with low maintenance requirements. For wastewater system management refer to Appendix C.

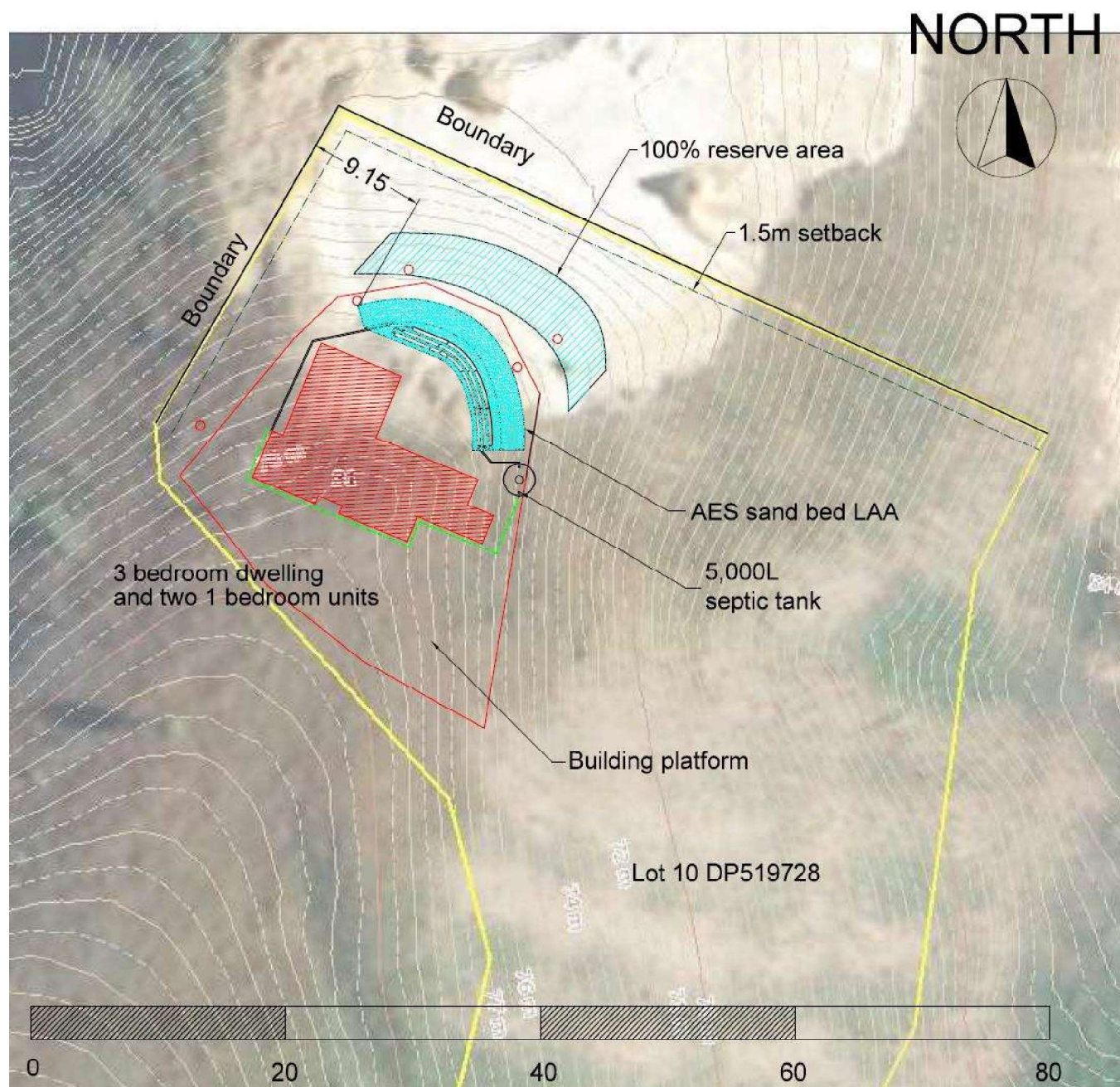


FIGURE 3: OWMS LOCATION WITHIN THE SITE

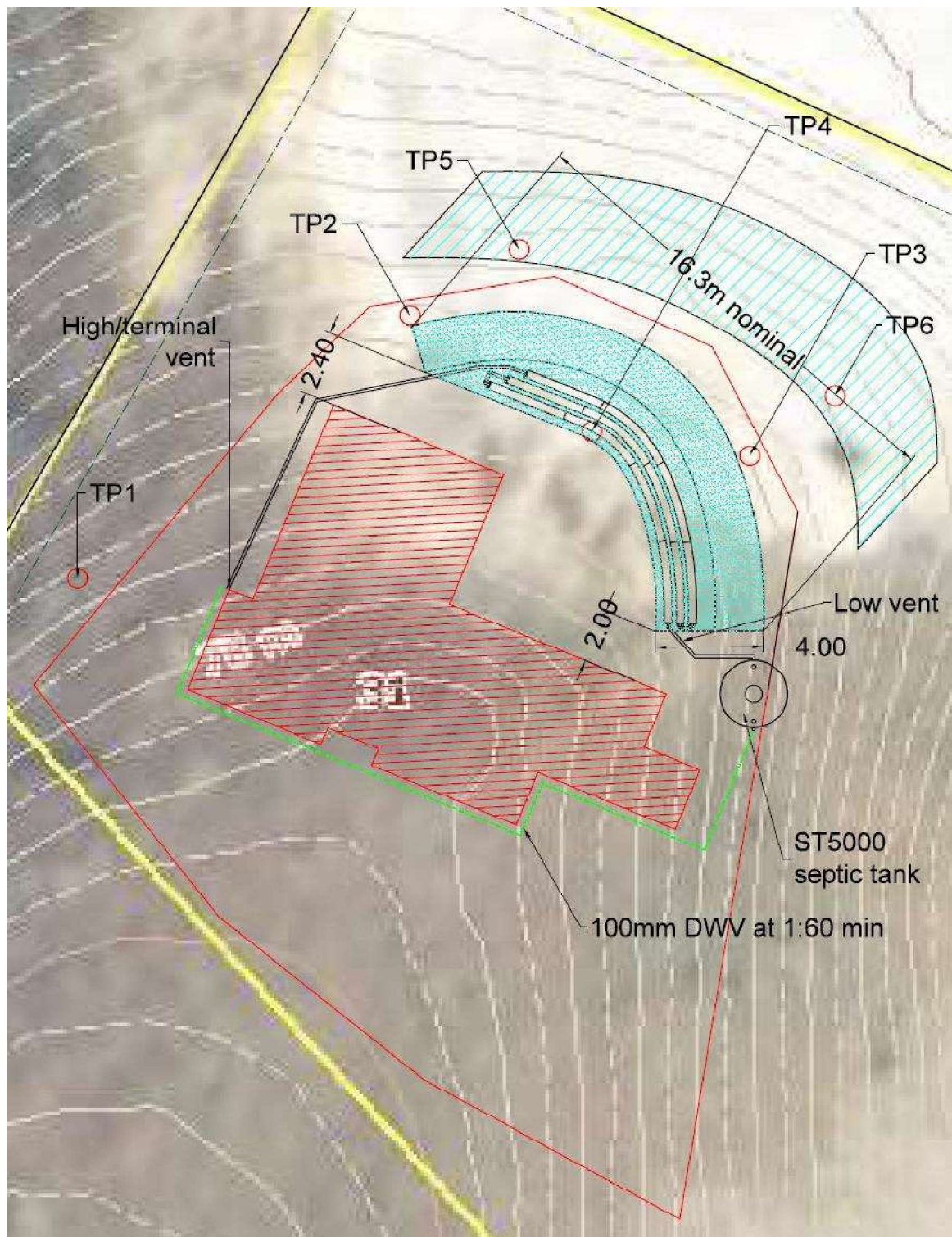


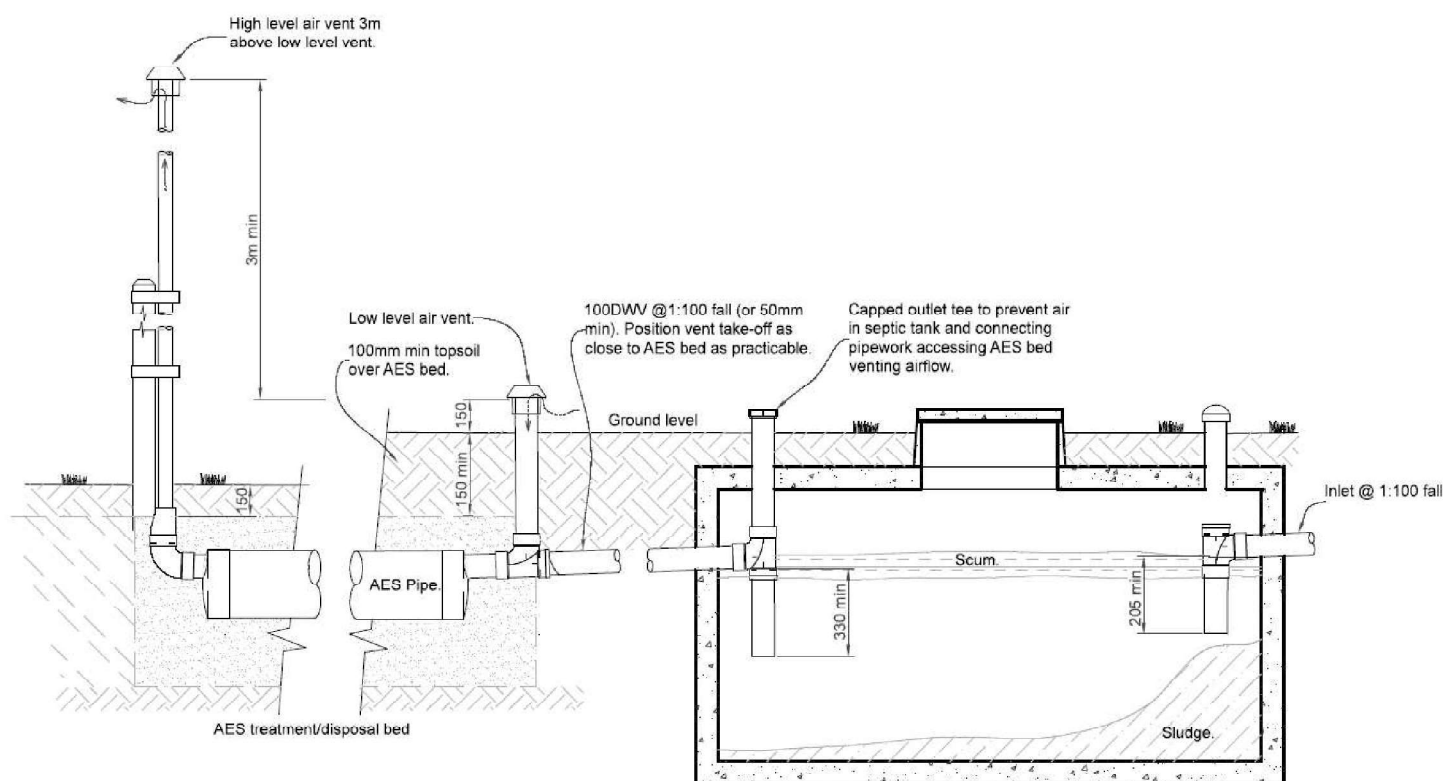
FIGURE 4: OWMS SITE MAP

Appendix B: OWMS Components and Installation Specifications

1. Septic tank specifications

New tank	
Septic tank capacity	Alpha Precasts ST5000 or similar
Distance from buildings	Min. 3m
Inlet pipe diameter	100mm DWV pipe
Pipe gradient	1:100
Outlet filter	Not required
Outlet pipe diameter	100mm DWV
Installation Note: It is the installers responsibility to ensure the tank is anchored in the ground	

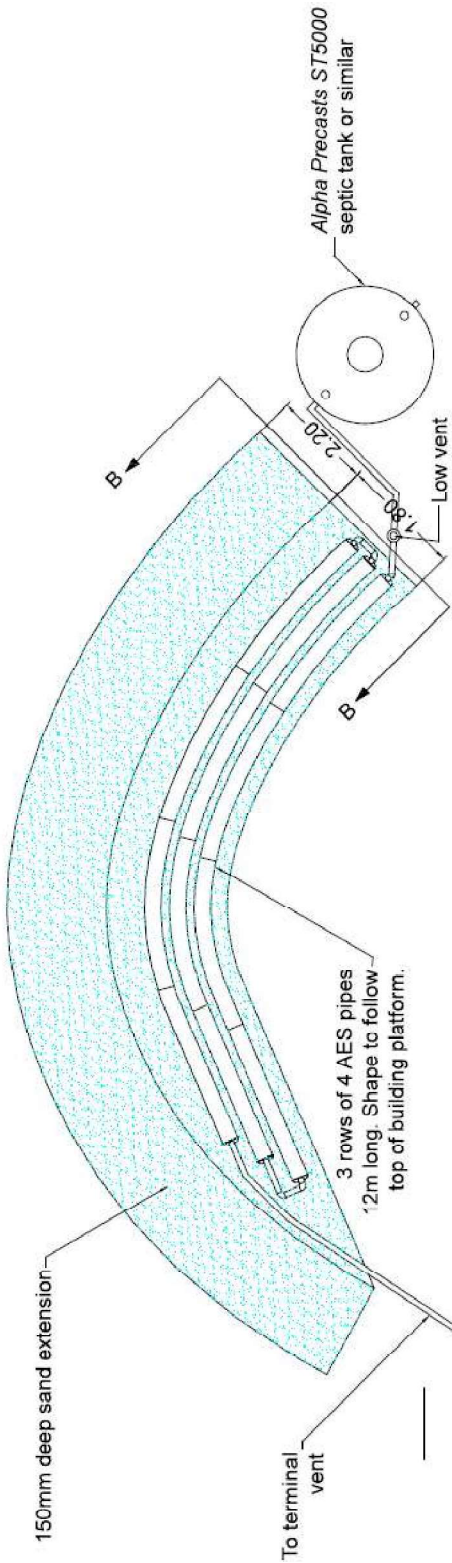
2. Septic tank and AES sand bed venting



Installation notes:

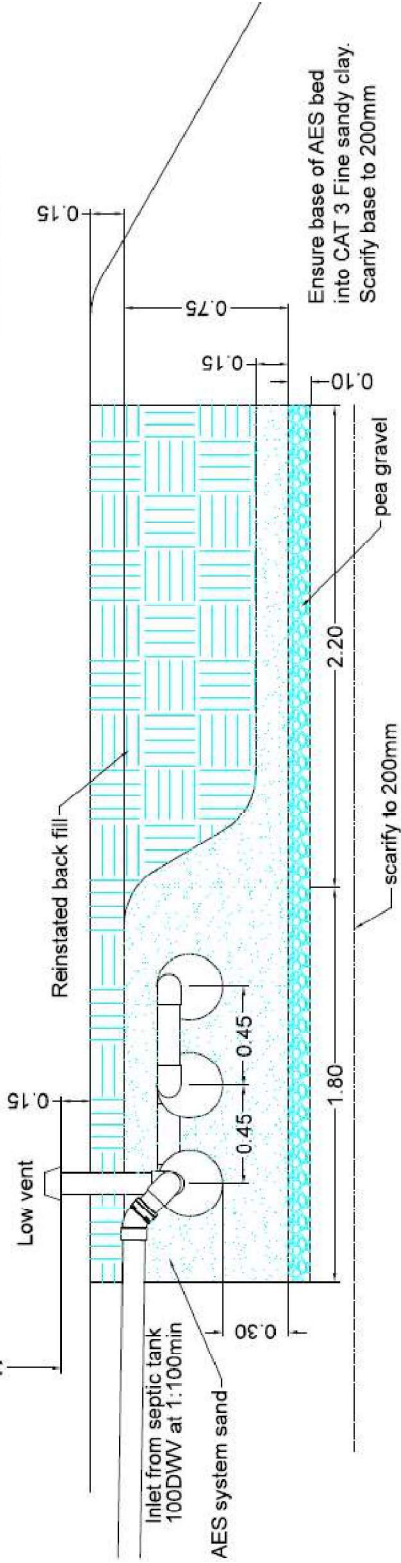
- The high vent is to be located at the back of the dwelling.
- Cap outlet tee to prevent airflow between septic tank and low vent. Failing this air entering the low vent may travel through the septic tank to the terminal vent, thereby precluding ventilation of the AES bed itself.

5. AES sand bed plan view and cross section



100DWW to High Vent/terminal vent
mounted to rear of dwelling.
To be 3m minimum above low vent.
Remote Venting to comply with
Environment Technology drawings
and Design and Installation Manual.

SECTION B:B



11 March 2021

Samuel McLeod and Toni Evans
PO Box 316
Motueka 7196

Dear Samuel McLeod and Toni Evans

Site Inspection Report

Reference: BC200322

Location: 31 Pineview Way, Motueka Valley, LOT 10 DP 519728

Project: Addition of bathroom to sleepout

IR Number: 2

Inspection Results:

WASTEPIPES - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FRAMING / PRE-WRAP - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

PRELINE - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

POST LINE - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

DRAINAGE - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FINAL - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Inspection Summary: Sleepout , bathroom fitted in existing area in sleep out , All framing and bracing completed at time of construction . All painting complete . Hot water supply from dwelling . Hush smoke detector correctly fitted . Gully and TV correct . Fine to issue CCC.

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

Wastepipes

- G12: Pipework pressure test documentation

Preline

- G13: Pressure test verification (PS3), plumber details

Drainage

- G13: As-builts, drainlayer details, pipework test

Final

- F2: Hazardous materials - Compliance documentation
- G4: Mechanical vent - Commissioning & construction monitoring
- G9: Energy works certificate

History

Inspection Name

Wastepipes

Framing / Pre-wrap

Preline

Post Line

Summary

PASS - 11 Mar 2021

PASS - 11 Mar 2021

PASS - 11 Mar 2021

PASS - 11 Mar 2021

Drainage

PASS - 11 Mar 2021

Final

PASS - 11 Mar 2021

Please plan your project ahead of time and allow a minimum of 2 working days' notice when booking all inspections.

Yours sincerely

Richmond Grant

Building Inspector

On behalf of **Tasman District Council**

11 March 2021

Samuel McLeod and Toni Evans
PO Box 316
Motueka 7196

Dear Samuel McLeod and Toni Evans

Site Inspection Report

Reference: BC200322

Location: 31 Pineview Way, Motueka Valley, LOT 10 DP 519728

Project: Addition of bathroom to sleepout

IR Number: 1

Inspection Results:

WASTEPIPES - 11 Mar 2021 @ 09:49 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FRAMING / PRE-WRAP - 11 Mar 2021 @ 09:40 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

PRELINE - 11 Mar 2021 @ 09:41 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

POST LINE - 11 Mar 2021 @ 09:42 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

DRAINAGE - 11 Mar 2021 @ 09:42 by Richmond Grant

Inspection Outcome: PASS - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FINAL - 11 Mar 2021 @ 09:44 by Richmond Grant

Inspection Outcome: PASS - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

Wastepipes

- G12: Pipework pressure test documentation

Preline

- G13: Pressure test verification (PS3), plumber details

Drainage

- G13: As-builts, drainlayer details, pipework test

Final

- F2: Hazardous materials - Compliance documentation
- G4: Mechanical vent - Commissioning & construction monitoring
- G9: Energy works certificate

History

Inspection Name

Wastepipes
Framing / Pre-wrap
Preline
Post Line
Drainage
Final

Summary

PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021

Please plan your project ahead of time and allow a minimum of 2 working days' notice when booking all inspections.

Yours sincerely

Richmond Grant

Richmond Grant

Building Inspector

On behalf of **Tasman District Council**

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Inspections - AUDIT	Pass	User	Date	Notes
Wastepipes				
F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified and mitigated, and with suitable barriers, fences / hoardings provided to ensure public safety and restrict unauthorized site access by children?	Pass	RGt	11/03/2021 09:49 am	No obvious work site hazards were observed during the course of this inspection.
G12: Water Supply: Is the hot water cylinder relief drain pipework appropriately sized & protected (durability), with continuous fall and sleeved through the concrete and is the pipework pressure test documentation provided?	Pass	RGt	11/03/2021 09:49 am	The hot water cylinder relief drain pipework is appropriately sized & protected, with continuous fall and sleeved through the concrete.
G13: Foul Water: Is the foul water system installed in accordance with building consent?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:50 am</u>	
G13: Foul Water - Prompt List:				
1. Plumber / Drainlayer: Name, company, license number, contact details provided?	PASS	RGt	11/03/2021 09:50 am	Plumber name: Tony Bartholomew Company name: License number: Contact details:
2. Fixture Layout / Drains / Wastes / Vents: Is fixture layout, pipework gradient, materials, size, length and support compliant?	PASS	RGt	11/03/2021 09:50 am	Fixture Layout / Drains / Wastes / Vents comply.
3. Separation: Are pipes that pass through concrete floors or walls sleeved appropriately?	PASS	RGt	11/03/2021 09:50 am	Separation of pipework complies.
4. Bedding: Is pipework properly supported on complying bedding material?	PASS	RGt	11/03/2021 09:50 am	Waste pipes are properly supported on complying bedding material.
5. Pipework Tests: Have tests and documentation verifying system integrity been obtained?	PASS	RGt	11/03/2021 09:50 am	Tests and documentation verifying system integrity has been obtained.
Framing / Pre-wrap				
F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified and mitigated, and with suitable barriers, fences / hoardings provided to ensure public safety and restrict unauthorized site access by children?	Pass	RGt	11/03/2021 09:40 am	No obvious work site hazards were observed during the course of this inspection.
B1: Wall Bracing: Is exterior wall bracing compliant?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:40 am</u>	
B1: Wall Bracing - Prompt List:				
1. Brace Layout: Is brace layout / element location/ element size and top plate size compliant?	PASS	RGt	11/03/2021 09:40 am	Brace element distribution, layout and plate size is compliant.
2. Penetrations: Are penetrations in brace elements correctly located?	PASS	RGt	11/03/2021 09:40 am	Penetrations in brace elements are correctly located.
3. Fixings: Are fixings and hold down connections compliant? (ensure that LBP details are recorded)	PASS	RGt	11/03/2021 09:40 am	Fixings and hold down connections are compliant.
Preline				
F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified and mitigated, and with suitable barriers, fences / hoardings provided to ensure public safety and restrict unauthorized site access by children?	Pass	RGt	11/03/2021 09:40 am	No obvious work site hazards were observed during the course of this inspection.
B1: Wall & Ceiling Lining Construction: Is pre-line construction compliant?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:40 am</u>	
B1: Wall & Ceiling Lining Construction - Prompt List:				
1. Layout: Are room layouts in accordance with building consent [give attention to room sizes and accessibility set-ups in service areas - toilets, laundry, kitchens].	PASS	RGt	11/03/2021 09:40 am	Room set-outs comply.
2. Services: Is the installation of services [water, gas, electricity] in relation to position of fixtures in accordance with building consent?	PASS	RGt	11/03/2021 09:40 am	The installation of services in relation to fixtures complies.
3. Blocking: Is all necessary framing, blocking and support for fixtures, handrails, flashing support, appliances, linings and finishes etc. installed?	PASS	RGt	11/03/2021 09:40 am	Framing and blocking installed.
4. Metal Angles:Have metal angles been installed to corners of wet areas?	PASS	RGt	11/03/2021 09:40 am	Metal Angles are compliant
5. Air Seals: Have air-seals been installed around openings in the external envelope?	PASS	RGt	11/03/2021 09:42 am	Air Seals are compliant.
6. Insulation: Is insulation as specified & correctly installed - [complying R-value, no gaps to perimeter]?	PASS	RGt	11/03/2021 09:40 am	Insulation is compliant.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Inspections - AUDIT				
Pass	User	Date	Notes	
7. Noise Control / Fire Ratings: Is the construction of noise control / fire ratings in accordance with building consent - [correct framing configuration, materials as specified and correctly located]?	N/A	RGt	11/03/2021 09:40 am	This question does not apply to this Project.
8. Ceiling Battens: Is ceiling space access location / ceiling batten size / layout, and moisture content compliant?	PASS	RGt	11/03/2021 09:40 am	Ceiling batten size, layout and moisture content is compliant.
9. Moisture Content: Is moisture content within safe range to allow lining to proceed?	PASS	RGt	11/03/2021 09:40 am	Moisture content readings indicate that framing is within safe range to allow enclosing of framing to proceed
B1: Wall Bracing: Does wall bracing conform to the consent documents?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:41 am</u>	
B1: Wall Bracing - Prompt List:				
1. Brace Layout: Is brace layout / element location/ element size / fixings and top plate size compliant?	PASS	RGt	11/03/2021 09:41 am	Brace element distribution, layout and plate size and fixing is correct.
2. Penetrations: Are penetrations in brace elements correctly located?	PASS	RGt	11/03/2021 09:41 am	Penetrations in brace elements are correctly located.
3. Elements: Are bracing elements clear of wet areas, correctly located and secured? (ensure that LBP details are recorded)	PASS	RGt	11/03/2021 09:41 am	Bracing elements are clear of wet areas and are correctly located and secured.
G12: Water Supply: Are water supplies services installation for G12 compliant?	<u>Pass</u>	<u>SKe</u>	<u>25/02/2021 12:00 pm</u>	
G12: Water Supply - Prompt List:				
1. LBP: Have the LBP (plumber) details been obtained (name, company, license number, contact details)?	PASS	SKe	25/02/2021 12:00 pm	LBP Details provided
2. Water Supplies: Is installation & construction of the hot and cold water supply system compliant (check materials / jointing / size / pipe run & support / insulation / valving / sealing of penetrations/ back-flow protection)	PASS	SKe	25/02/2021 12:00 pm	Installation & construction of the hot and cold water supply system is compliant.
3. Water Pipe Pressure Tests: Has pressure tests and documentation verifying system integrity been obtained?	PASS	SKe	25/02/2021 12:00 pm	Pipework tests provided. with plumbers details
4. Wetback: Does the wet back system pipework installation conform to the building consent?	N/A	SKe	25/02/2021 12:00 pm	This question does not apply to this project.
Supplementary Inspection Notes:		SKe	25/02/2021 12:00 pm	Photos received of plumbing installation
G13: Foul Water: Is internal foul water system pipework grade, size location, and internal venting compliant?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:41 am</u>	
G13: Foul Water - Prompt List:				
1. LBP: Have the LBP (plumber/ drain layer) details been obtained (name, company, license number, contact details)?	PASS	RGt	11/03/2021 09:41 am	LBP Details provided Kurt Bolton
2. Drains, Wastes, Vents: Is installation of the sanitary plumbing compliant - (check materials, jointing, gradient, size, length and support)?	PASS	RGt	11/03/2021 09:41 am	Installation of the sanitary plumbing is compliant.
G4: Ventilation - Residential: Does the preline installation of the ventilation system comply with the building consent?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:42 am</u>	
G4: Ventilation - Residential - Prompt List:				
1. Materials: Are materials as specified?	PASS	RGt	11/03/2021 09:42 am	Materials are as specified.
2. System Components: Are system components correctly located and installed?	N/A	RGt	11/03/2021 09:42 am	This question does not apply to this project.
Post Line				
F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified and mitigated, and with suitable barriers, fences / hoardings provided to ensure public safety and restrict unauthorized site access by children?	Pass	RGt	11/03/2021 09:42 am	No obvious work site hazards were observed during the course of this inspection.
B1: Wall & Ceiling Lining Construction: Are materials, fixings and stopping compliant?	Pass	RGt	11/03/2021 09:42 am	Materials, fixings and stopping is compliant.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Inspections - AUDIT		Pass	User	Date	Notes
B1: Wall Bracing: Is the fixing of the bracing elements compliant i.e. check that penetration sizes / locations, and fixings / fixing patterns comply? (ensure that LBP details are recorded)		Pass	RGt	11/03/2021 09:42 am	The fixing of the bracing elements is compliant.
Drainage					
F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified and mitigated, and with suitable barriers, fences / hoardings provided to ensure public safety and restrict unauthorized site access by children?		Pass	RGt	11/03/2021 09:42 am	No obvious work site hazards were observed during the course of this inspection.
G13: Foul Water: Is construction of the foul water drainage system in accordance with the building consent?		Fail	SKe	25/02/2021 12:02 pm	
G13: Foul Water - Prompt List:					
1. Drain Separation: Is there sufficient separation between drains and foundations?		PASS	SKe	25/02/2021 12:02 pm	Sufficient separation is provided between drains and foundations.
2. Material / Grade: Are pipe materials, size and drain grade complying?		PASS	SKe	25/02/2021 12:02 pm	Pipe materials, sizes and drain grade is compliant.
3. Inspection: Do inspection point locations comply?		PASS	SKe	25/02/2021 12:02 pm	Inspection point locations comply.
4. Vents: Is external vent location and size compliant?		PASS	SKe	25/02/2021 12:02 pm	The foul water system vent size and location is compliant.
5. Bedding: Does bedding material comply?		PASS	SKe	25/02/2021 12:02 pm	Foul water drain bedding material complies.
6. Drain Cover: Does drain cover comply?		PASS	SKe	25/02/2021 12:02 pm	Foul water drain cover complies.
7. Gully Trap / ORG: Are the ORG / gully traps correctly located, a minimum of 150 mm below the lowest sanitary fixture and able to be charged?		FAIL	SKe	25/02/2021 12:02 pm	Gully Traps / ORG installation does not comply with building consent. Please rectify and advise when work is ready for re-inspection. will need to be inspected and approved as only photos have beeb sent in
8. Waste Pipe Entry: Are waste pipes located at least 20 mm above the gully water seal & 20 mm below grate of the gully?		FAIL	SKe	25/02/2021 12:02 pm	Foul water waste pipes are not complying. These are required to be located at least 20 mm above the gully water seal & 20 mm below grate of the gully. Please rectify and advise when work is ready for re-inspection. Need to confirm on site inspection
9. Drain Tests: Has the drain test passed?		N/A	SKe	25/02/2021 12:02 pm	This question does not apply to this consent.
10. On-site Disposal: Does the on-site disposal system installation comply with the building consent and has certification verifying this been provided along with the as-built of the septic tank system?		N/A	SKe	25/02/2021 12:02 pm	This question does not apply to this consent.
11. Septic Tank and Discharge Field: Is the location and installation of the septic tank and effluent discharge field in accordance with approved consent documents?		N/A	SKe	25/02/2021 12:02 pm	This question does not apply to this consent.
12. Installation Record: Has an installation record been provided by a suitably qualified and competent person (typically a registered drain layer) to confirm the septic tank and effluent disposal system has been installed as per the approved design plan and specification?		N/A	SKe	25/02/2021 12:02 pm	This question does not apply to this consent.
13. Notification: Has the Council's Assets Department been notified that a new service connection has been provided? Please select N/A if there is no requirement to advise the Council Assets Department.		N/A	SKe	25/02/2021 12:02 pm	This question does not apply to this consent.
14. Required Documents: Have Drainage As-built drawings, Drainlayer Details (name, company, license number, contact details) been provided?		PASS	SKe	25/02/2021 12:02 pm	The following required documents have been provided:
G13: Foul Water: Is construction of the foul water drainage system in accordance with the building consent?		Pass	RGt	11/03/2021 09:49 am	
G13: Foul Water - Prompt List:					
1. Drain Separation: Is there sufficient separation between drains and foundations?					
2. Material / Grade: Are pipe materials, size and drain grade complying?					
3. Inspection: Do inspection point locations comply?					

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Inspections - AUDIT	Pass	User	Date	Notes
4. Vents: Is external vent location and size compliant?				
5. Bedding: Does bedding material comply?				
6. Drain Cover: Does drain cover comply?				
7. Gully Trap / ORG: Are the ORG / gully traps correctly located, a minimum of 150 mm below the lowest sanitary fixture and able to be charged?	PASS	RGt	11/03/2021 09:48 am	Correct Gully Traps / ORG installation does not comply with building consent. Please rectify and advise when work is ready for re-inspection. Will need to be inspected and approved as only photos have been sent in
8. Waste Pipe Entry: Are waste pipes located at least 20 mm above the gully water seal & 20 mm below grate of the gully?	PASS	RGt	11/03/2021 09:49 am	Foul water waste pipes are not complying. These are correct required to be located at least 20 mm above the gully water seal & 20 mm below grate of the gully. Please rectify and advise when work is ready for re-inspection. Need to confirm on site inspection
9. Drain Tests: Has the drain test passed?	PASS	RGt	11/03/2021 09:49 am	Drain test has passed.
10. On-site Disposal: Does the on-site disposal system installation comply with the building consent and has certification verifying this been provided along with the as-built of the septic tank system?				
11. Septic Tank and Discharge Field: Is the location and installation of the septic tank and effluent discharge field in accordance with approved consent documents?				
12. Installation Record: Has an installation record been provided by a suitably qualified and competent person (typically a registered drain layer) to confirm the septic tank and effluent disposal system has been installed as per the approved design plan and specification?				
13. Notification: Has the Council's Assets Department been notified that a new service connection has been provided? Please select N/A if there is no requirement to advise the Council Assets Department.				
14. Required Documents: Have Drainage As-built drawings, Drainlayer Details (name, company, license number, contact details) been provided?				
Final				
F5: Construction and Demolition Hazards: Is site safety properly managed with work-site hazards identified and mitigated, and with suitable barriers, fences / hoardings provided to ensure public safety and restrict unauthorized site access by children?	Pass	RGt	10/03/2021 03:02 pm	No obvious work site hazards were observed during the course of this inspection.
Section 28: Warning and Bans: Can the building consent authority exercise its powers under BA s28 and issue a code compliance certificate for the building work relating to this building consent? Please do not select N/A for this question.	N/A	RGt	10/03/2021 03:02 pm	NA
Section 112 (1): Alterations to Buildings: Does finished construction demonstrate on reasonable grounds that the building will comply, as nearly as is reasonably practicable with provisions that relate to Means of escape from fire, and Access & facilities for people with disabilities, and that it will continue to comply with the other provisions of the building code to at least the same extent as before the alteration?	Pass	RGt	11/03/2021 09:44 am	Compliance with Section 112 (1) is demonstrated on reasonable grounds.
Finished Floor Levels: Do finished floor levels, finished ground levels, and proximity of adjacent ground to external walls comply with the building consent?	Pass	RGt	10/03/2021 03:02 pm	FFL, FGL and proximity of adjacent ground complies with consent.
B2: DURABILITY: Has compliance with B2 provisions been satisfied?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:45 am</u>	
B2: DURABILITY - Prompt List:				
1. Incompatibility: Is the structure free of obvious incompatibility issues?	PASS	RGt	11/03/2021 09:45 am	No obvious incompatibility issues have been observed.
2. Access for Maintenance: Is access for maintenance purposes available to all concealed and enclosed spaces?	PASS	RGt	11/03/2021 09:45 am	Access for maintenance purposes is available to all concealed and enclosed spaces.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Inspections - AUDIT	Pass	Use	Date	Notes
3. Finishes: Are all finishes completed in accordance with the building consent?	PASS	RGt	11/03/2021 09:45 am	All finishes are completed in accordance with building consent.
C: SH - Fire Safety System [Para 2.2]: Has a complying Type 1 smoke alarm been installed and are detectors located in accordance with building consent documentation?	Pass	RGt	11/03/2021 09:45 am	A complying Type 1 smoke alarm has been installed and detectors are located in accordance with consent documentation.
C: SH - Means of Escape [Part 3]: Does the means of escape from this building comply with the building consent?	Pass	RGt	11/03/2021 09:45 am	Means of escape from this building complies with the building consent.
G12: Water Supply: Is the hot water and cold water system installed in accordance with the building consent?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:45 am</u>	
G12: Water Supply - Prompt List:				
1. Water Supply Protection: Is protection of the water supply satisfied - (lids to header tanks)?	PASS	RGt	11/03/2021 09:45 am	The water supply is adequately protected.
2. Seismic Restraint: Is the system seismically restrained and correctly supported?	PASS	RGt	11/03/2021 09:45 am	The system is seismically restrained and correctly supported.
3. Overflow: Is provision for overflow in accordance with building consent?	PASS	RGt	11/03/2021 09:45 am	Provision for overflow complies with building consent.
4. Non-Potable Identification: Is all non-potable water supply clearly identified?	N/A	RGt	11/03/2021 09:45 am	This question does not apply to this consent.
5. Earthing: Does equipotential bonding (earthing) comply with requirements of building consent?	N/A	RGt	11/03/2021 09:45 am	This question does not apply to this consent.
6. Valve Train: Is the valve train and venting in accordance with the building consent?	N/A	RGt	11/03/2021 09:45 am	This question does not apply to this consent.
7. Temperature Control: Are temperatures correctly set to avoid growth of legionella bacteria & avoid scalding?	PASS	RGt	11/03/2021 09:45 am	Temperature control provisions comply with building consent.
8. Relief Drain: Is the relief drain terminated in a safe and complying manner?	PASS	RGt	11/03/2021 09:45 am	Relief drain is correctly installed.
9. Insulation: Is insulation of the system in accordance with building consent?	PASS	RGt	11/03/2021 09:45 am	System insulation complies.
10. Wet Back: Does completed installation of the wet back system demonstrate compliance with the building consent?	N/A	RGt	11/03/2021 09:45 am	This question does not apply to this consent.
11. E2 - Penetrations: Are all penetrations through the external envelope weather tight and durable?	PASS	RGt	11/03/2021 09:45 am	Penetrations through the external envelope are correctly sealed.
12. Potable Water Supply Validation: Has proof of potability of water supply been provided from an approved laboratory? Answer N/A if water supply is from a NUO reticulated supply.	N/A	RGt	11/03/2021 09:45 am	This question does not apply to this consent.
G13: Foul Water: Is the foul water system installed in accordance with building consent?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:47 am</u>	
G13: Foul Water - Prompt List:				
1. Vents: Are vents correctly located, sized, secured, and are envelope penetrations weather tight?	PASS	RGt	11/03/2021 09:47 am	Vents are correctly located, sized and envelope penetrations are weather tight.
2. Traps & Wastes: Are traps and wastes sealed, watertight and compliant?	PASS	RGt	11/03/2021 09:47 am	Traps and wastes are sealed, watertight and compliant.
3. Fire Separations: Are pipe penetrations in and through fire separations compliant?	N/A	RGt	11/03/2021 09:47 am	This question does not apply to this consent.
4. Water Seals: Do seals to fixtures retain minimum water level when tested (pans, sinks)?	PASS	RGt	11/03/2021 09:47 am	Seals to fixtures retained minimum water level when tested.
5. Gully Trap Grate: Will gully trap grates allow overflow to freely occur in the event of overflow?	PASS	RGt	11/03/2021 09:47 am	Gully trap grates will allow overflow to freely occur in the event of overflow.
6. Gully Trap Height: Are gully traps located a minimum of 25 mm above paving or 100 mm above finished ground if unpaved?	PASS	RGt	11/03/2021 09:47 am	Gully height is correct.
7. Gully Water Seal: Is the water seal not more than 600 mm from top of gully?	PASS	RGt	11/03/2021 09:47 am	The gully trap water seal is not more than 600mm from the top of the gully.
8. Gully Trap Clearance: Is 600 mm clearance provided above the gully and is it easily accessed for cleaning?	PASS	RGt	11/03/2021 09:47 am	600 mm clearance is provided above the gully to enable ease of cleaning.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Inspections - AUDIT	Pass	User	Date	Notes
9. Gully Trap Support: Is the gully properly supported?	PASS	RGt	11/03/2021 09:47 am	Gully is well supported.
10. ORG / Gully:Is the ORG / top of the gully a minimum of 150mm below the lowest sanitary fixture?	PASS	RGt	11/03/2021 09:47 am	The ORG /gully is a minimum of 150mm below the lowest sanitary fixture.
11. Sealing: Are all pipe penetrations through the foundations and into the gully sealed?	PASS	RGt	11/03/2021 09:47 am	All pipe penetrations into the gully are sealed.
12. Required Documents: Is all Required Documentation provided?	PASS	RGt	11/03/2021 09:47 am	All documentation has been provided.
E3: Internal Moisture: Does finished construction of interior service areas demonstrate compliance with the building consent?	<u>Pass</u>	<u>RGt</u>	<u>10/03/2021 03:02 pm</u>	
E3: Internal Moisture - Prompt List:				
1. Containment: Is containment satisfied - (floor coverings & finishes installed as specified to mitigate potential for accidental overflow affecting household units or adjacent property)?	PASS	RGt	10/03/2021 03:02 pm	Containment is satisfied - floor coverings & finishes are installed as specified to mitigate potential for accidental overflow affecting household units or adjacent property.
2. Overflow: Is overflow provisions satisfied - (floor waste drain mitigates potential for accidental overflow affecting the household unit or adjacent property)?	PASS	RGt	10/03/2021 03:02 pm	Overflow provisions are satisfied.
3. Thermal Break: Is a thermal break provided where steel framing is used?	N/A	RGt	10/03/2021 03:02 pm	This question does not apply to this consent.
4. Condensation: Are condensation channels and drainage outlets provided to windows?	PASS	RGt	10/03/2021 03:02 pm	Condensation channels and drainage outlets are provided to windows.
5. Ventilation: Is adequate ventilation provided?	PASS	RGt	10/03/2021 03:02 pm	Adequate ventilation is provided.
6. Splash Protection: Are walls provided with adequate protection from water splash?	PASS	RGt	10/03/2021 03:02 pm	Walls are provided with adequate protection from water splash.
7. Compliance: Is workmanship, construction and surface finishes as specified?	PASS	RGt	10/03/2021 03:02 pm	Workmanship & construction is as specified.
8. Wet / Service Areas: Are surfaces impervious & easily cleaned, joints properly sealed, water tested, and correctly finished?	PASS	RGt	10/03/2021 03:02 pm	Wet Areas / Service Areas - surfaces are impervious & easily cleaned, joints properly sealed, water tested, and correctly finished
9. Fittings: Are fittings and fixtures installed as per consent and is sealing of these compliant - check the bath / basins / sinks / tub / sanitary appliances?	PASS	RGt	10/03/2021 03:02 pm	Fittings and fixtures are compliant.
10. Warranties / Required Documents: Have all warranties / installer declarations and Required Documents for this system been obtained?	PASS	RGt	10/03/2021 03:02 pm	All warranties are provided.
F2: Hazardous Building Materials: Are building materials that are potentially hazardous installed in accordance with building consent?	<u>N/a</u>	<u>RGt</u>	<u>10/03/2021 03:02 pm</u>	
F2: Hazardous Building Materials - Prompt List:				
1. Compliance Label / Required Documents: Is evidence provided verifying that glazing satisfies F2 (compliance labeling or statement from supplier)?	N/A	RGt	10/03/2021 03:02 pm	This question does not apply to this consent.
2. Safety Glass: Is safety glass installed, located and provided with complying manifestation in accordance with building consent?	N/A	RGt	10/03/2021 03:02 pm	This question does not apply to this consent.
3. Hazardous Material: Has the location of harmful materials (such as asbestos) been recorded and is installation in accordance with the building consent?	N/A	RGt	10/03/2021 03:02 pm	This question does not apply to this consent.
G1: Personal Hygiene - Residential: Is completed construction of personal hygiene facilities in accordance with building consent?	<u>Pass</u>	<u>RGt</u>	<u>11/03/2021 09:48 am</u>	
G1: Personal Hygiene - Residential - Prompt List:				
1. Layout / Fixtures: Is the interior layout complying and are fixtures correctly located, correctly installed, secure and operational?	PASS	RGt	11/03/2021 09:47 am	G1 Layout and fixture location and installation is compliant.
2. Services: Are services to fixtures installed in accordance with building consent?	PASS	RGt	11/03/2021 09:48 am	G1 - Services: Installation is compliant.
3. Surface Finishes: Are surface finishes as detailed - (splash resistant, slip resistant, properly sealed at junctions)?	PASS	RGt	11/03/2021 09:48 am	G1 - Surface Finishes: Installation and finish is compliant.

MAIN BUILDING - R1 COMPLEXITY: DETACHED DWELLING - Inspections - AUDIT		Pass	User	Date	Notes
G4: Ventilation - Residential: Does ventilation and installation of ventilation systems comply with the building consent?	<u>Pass</u>	<u>RGt</u>	<u>10/03/2021 03:03 pm</u>		
G4: Ventilation - Residential - Prompt List:					
1. Unit Installation: Are ventilation units sized, operational and installed in accordance with the building consent?	PASS	RGt	10/03/2021 03:03 pm		Ventilation units are sized, operational and installed in accordance with the building consent.
2. Duct Installation: Are all ducts correctly installed and do they discharge to the exterior?	PASS	RGt	10/03/2021 03:03 pm		Ducts are correctly installed and discharge to the exterior.
3. E2 - Penetrations: Are duct penetrations sealed and satisfy provisions of B2 and E2?	PASS	RGt	10/03/2021 03:03 pm		Duct penetrations are sealed and satisfy provisions of B2 and E2.
4. G4 - Commissioning Documents: Has Mechanical Ventilation Systems Commissioning & Quality Assurance Documentation been provided from a Suitably Qualified Professional?	N/A	RGt	10/03/2021 03:03 pm		This question does not apply to this building consent.
G9: Electricity: Energy Works Certificate provided identifying all electrical work including specified systems provided?	Pass	RGt	11/03/2021 09:48 am		A correctly completed Energy Works Certificate is provided.
Compliance / Documentation: Is compliance with building consent demonstrated and have all building consent and RMA conditions been satisfied, and have all required documents been provided and reviewed by a suitably qualified and competent person (as required by reg. 10 and 18) to confirm that they reflect construction in its finished state.	Pass	RGt	11/03/2021 09:48 am		Compliance with building consent is demonstrated and all building consent and RMA conditions have been satisfied, all required documents been provided and have been reviewed by a suitably qualified and competent person (as required by reg. 10 and 18) to confirm that they reflect construction in its finished state. I am reg. 10 & 18 qualified and confirm that all required documents reflect the as-built state of construction.

Decision To Issue CCC: Richmond Grant at 11/03/2021 10:02 am

11 March 2021

Samuel McLeod and Toni Evans
PO Box 316
Motueka 7196

Dear Samuel McLeod and Toni Evans

Site Inspection Report

Reference: BC200322

Location: 31 Pineview Way, Motueka Valley, LOT 10 DP 519728

Project: Addition of bathroom to sleepout

IR Number: 2

Inspection Results:

WASTEPIPES - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FRAMING / PRE-WRAP - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

PRELINE - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

POST LINE - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

DRAINAGE - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FINAL - 11 Mar 2021 @ 09:56 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Inspection Summary: Sleepout , bathroom fitted in existing area in sleep out , All framing and bracing completed at time of construction . All painting complete . Hot water supply from dwelling . Hush smoke detector correctly fitted . Gully and TV correct . Fine to issue CCC.

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

Wastepipes

- G12: Pipework pressure test documentation

Preline

- G13: Pressure test verification (PS3), plumber details

Drainage

- G13: As-builts, drainlayer details, pipework test

Final

- F2: Hazardous materials - Compliance documentation
- G4: Mechanical vent - Commissioning & construction monitoring
- G9: Energy works certificate

History

Inspection Name

Wastepipes

Framing / Pre-wrap

Preline

Post Line

Summary

PASS - 11 Mar 2021

PASS - 11 Mar 2021

PASS - 11 Mar 2021

PASS - 11 Mar 2021

Drainage

PASS - 11 Mar 2021

Final

PASS - 11 Mar 2021

Please plan your project ahead of time and allow a minimum of 2 working days' notice when booking all inspections.

Yours sincerely

Richmond Grant

Building Inspector

On behalf of **Tasman District Council**

11 March 2021

Samuel McLeod and Toni Evans
PO Box 316
Motueka 7196

Dear Samuel McLeod and Toni Evans

Site Inspection Report

Reference: BC200322

Location: 31 Pineview Way, Motueka Valley, LOT 10 DP 519728

Project: Addition of bathroom to sleepout

IR Number: 1

Inspection Results:

WASTEPIPES - 11 Mar 2021 @ 09:49 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FRAMING / PRE-WRAP - 11 Mar 2021 @ 09:40 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

PRELINE - 11 Mar 2021 @ 09:41 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

POST LINE - 11 Mar 2021 @ 09:42 by Richmond Grant

Inspection Outcome: **PASS** - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

DRAINAGE - 11 Mar 2021 @ 09:42 by Richmond Grant

Inspection Outcome: PASS - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

FINAL - 11 Mar 2021 @ 09:44 by Richmond Grant

Inspection Outcome: PASS - The BCA is satisfied, on reasonable grounds, that the aspects of building work pertaining to this inspection demonstrate compliance with the building consent.

Your next inspection will be: **No further inspection required**

Outstanding Required Documents for this Building

Wastepipes

- G12: Pipework pressure test documentation

Preline

- G13: Pressure test verification (PS3), plumber details

Drainage

- G13: As-builts, drainlayer details, pipework test

Final

- F2: Hazardous materials - Compliance documentation
- G4: Mechanical vent - Commissioning & construction monitoring
- G9: Energy works certificate

History

Inspection Name

Wastepipes
Framing / Pre-wrap
Preline
Post Line
Drainage
Final

Summary

PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021
PASS - 11 Mar 2021

Please plan your project ahead of time and allow a minimum of 2 working days' notice when booking all inspections.

Yours sincerely

Richmond Grant

Richmond Grant
Building Inspector
On behalf of **Tasman District Council**

Main Building

F2: Hazardous materials - Compliance documentation (Final) **N/A**

Historical Notes

[N/A @ 11 Mar 2021 10:00:51] Richmond Grant:

NA

G4: Mechanical vent - Commissioning & construction monitoring (Final) **N/A**

Historical Notes

[N/A @ 11 Mar 2021 10:00:58] Richmond Grant:

NA

G9: Energy works certificate (Final) **N/A**

Historical Notes

[N/A @ 11 Mar 2021 10:01:08] Richmond Grant:

NA

G12: Pipework pressure test documentation (Wastepipes) **N/A**

Historical Notes

[N/A @ 11 Mar 2021 10:01:14] Richmond Grant:

NA

G12: Pipework pressure test documentation (Preline) **N/A**

Historical Notes

[N/A @ 11 Mar 2021 10:01:21] Richmond Grant:

NA

G13: As-builts, drainlayer details, pipework test (Drainage) **N/A**

Historical Notes

[N/A @ 11 Mar 2021 10:01:27] Richmond Grant:

NA

Miscellaneous documents

Historical Notes

[09 Mar 2021 10:12:59] Pete Fitzgerald:

Accepted Document: 9A19B10F-0830-4220-98D1-60BFE999DF68.png.pdf (renamed to Miscellaneousdocuments-014.pdf). Reasons / Notes: Bottom half received

[09 Mar 2021 10:11:45] Pete Fitzgerald:

Accepted Document: 09EF343E-30AF-434F-A506-3A89F3A639BE.png.pdf (renamed to Miscellaneousdocuments-013.pdf). Reasons / Notes: CoC received

[08 Mar 2021 16:21:48] Grant Fidler:

Accepted Document: 1B15D179-C053-461F-B2E0-C90A713C25E4.jpeg.pdf (renamed to Miscellaneousdocuments-012.pdf). Reasons / Notes: Reviewed & accepted photo of:- Drain sand bedding.

[08 Mar 2021 16:21:13] Grant Fidler:

Accepted Document: AC40AF24-7AD2-47B2-B045-A29C1F0ED066.jpeg.pdf (renamed to Miscellaneousdocuments-011.pdf). Reasons / Notes: Reviewed & accepted photo of:- New-GT, IP & TV

[08 Mar 2021 16:20:28] Grant Fidler:

Accepted Document: 8FF55530-7867-4C17-B3A3-945854AE742F.jpeg.pdf (renamed to Miscellaneousdocuments-010.pdf). Reasons / Notes: Reviewed & accepted photo of:- Photo drain/DP.

[08 Mar 2021 16:19:58] Grant Fidler:

Accepted Document: 9612ADEB-C873-4763-8B9D-568B28D7EEFE.jpeg.pdf (renamed to Miscellaneousdocuments-009.pdf). Reasons / Notes: Reviewed & accepted photo of:- PS3 drainlayer.

[08 Mar 2021 16:19:26] Grant Fidler:

Rejected Document: 2BEB4711-3E85-47A0-BAC1-17D48E232303.jpeg.pdf Reasons / Notes: The ESC (electrical safety cert) part of this document has been omitted from the photo, please supply full CoC & ESC doc.

[08 Mar 2021 16:16:54] Grant Fidler:

Accepted Document: 4CFF02D3-7E28-482F-AD77-6E06646869B3.jpeg.pdf (renamed to Miscellaneousdocuments-008.pdf). Reasons / Notes: Reviewed & accepted photo of:- Drainlayer PS3

[08 Mar 2021 16:15:46] Grant Fidler:

Accepted Document: C04D7A25-9F8A-41BE-BA39-68FFE41347FC.jpeg.pdf (renamed to Miscellaneousdocuments-007.pdf). Reasons / Notes: Reviewed & accepted photo of:- Drains & IP.

[08 Mar 2021 16:15:12] Grant Fidler:

Accepted Document: 7CA3CD58-F631-4BB5-9ADA-A795F072CD64.jpeg.pdf (renamed to Miscellaneousdocuments-006.pdf). Reasons / Notes: Reviewed & accepted photo of:- Terminal vent.

[25 Feb 2021 11:58:48] Simon Kneebone:

Accepted Document: 2EC1A668-2BBB-49C9-B676-73D49AAEF206.jpeg.pdf (renamed to Miscellaneousdocuments-005.pdf). Reasons / Notes: Plumbing installation

[25 Feb 2021 11:58:41] Simon Kneebone:

Accepted Document: 563B68BD-CF39-4EB6-8763-CAABFB4C619B.jpeg.pdf (renamed to Miscellaneousdocuments-004.pdf). Reasons / Notes: Plumbing installation

[25 Feb 2021 11:58:34] Simon Kneebone:

Accepted Document: 3BC1C139-3E46-43EC-96FA-1006DC45A68A.jpeg.pdf (renamed to Miscellaneousdocuments-003.pdf). Reasons / Notes: Plumbing installation

[02 Feb 2021 13:00:27] Nikii Steele:

Accepted Document: 45D08B8D-874A-408B-94E5-A84524E6DBD4.jpeg.pdf (renamed to Miscellaneousdocuments-002.pdf). Reasons / Notes: Checked and OK - As-built drainage

[02 Feb 2021 12:59:56] Nikii Steele:

Accepted Document: 625FA429-884C-40A2-9212-086332172D1F.jpeg.pdf (renamed to Miscellaneousdocuments-001.pdf). Reasons / Notes: Checked and OK - Pre-line pressure test

Minor variations

- {no file(s) uploaded}

G13: Pressure test verification (PS3), plumber details (Preline)

N/A

Historical Notes

[N/A @ 11 Mar 2021 10:01:45] Richmond Grant:

NA

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

1. What is the Building Consent? Complete this field

Building consent number:	BC 200322
Issued by: (name of building consent authority)	Tasman District Council

2. Who owns the building? Complete all fields, using N/A if a field is not applicable

Owner name:	Toni Evans & Sam McLeod	Title: e.g. (Mr) Mrs (Ms) Dr
Contact person:	Toni Evans	
Owner mailing address:	31 Pineview Way RD 1, 7196 Mokueka 7196	
Street address/ registered office:	31 Pineview Way	
Owner email address:	themoat101@gmail.com	
Owner contact number:	021 110 5643	
Are you using an Agent?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If Yes, please also complete the following:		
Who is the first point of contact for further correspondence?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Agent name:		
Agent email:		
Agent contact number:		
Agent mailing address:		

3. When was the building work completed? Complete this field

All building work to be carried out under the building consent specified on this form was completed on:	dd/mm/yyyy
	18/02/2021

4. Who completed the building work? Complete all fields on each line. You will need to complete one line for each building practitioner. Use a separate sheet if necessary.

The licensed building practitioner(s) who carried out/supervised the restricted building work is/are:			
Name	Licensing class	LBP or registration number	Work carried out/ supervised
Tony Bartholomew	Plumber	20563 115886	Plumb bathroom/drain
Abel Electrical	Electrician	E 257966	Wire two switches

Name	Licensing class	LBP or registration number	Work carried out/ supervised

Tradespeople who carried out building work other than restricted building work are as follows:

Name	Address	Contact number	Registration number

Please list specified systems installed in the building or use N/A if this section is not applicable ☒ N/A

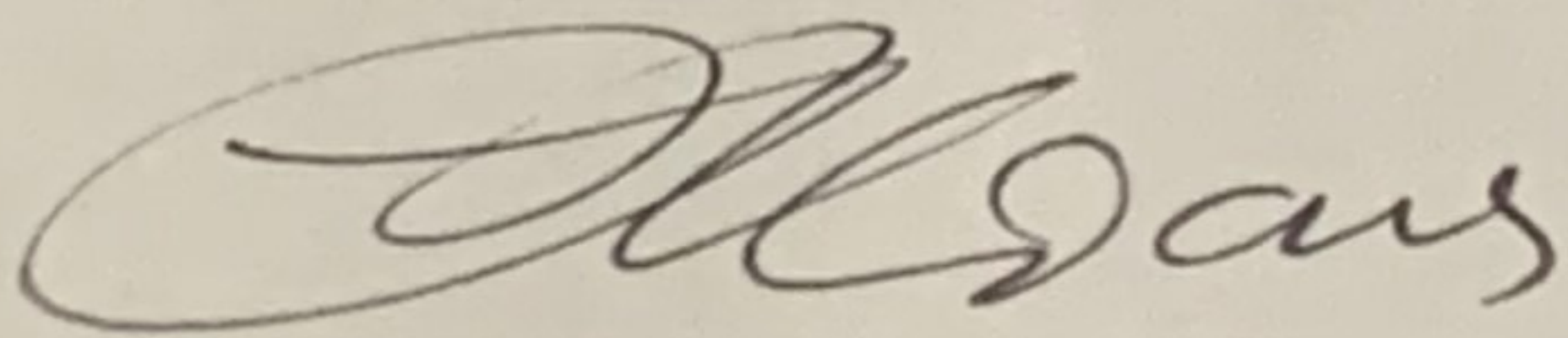
The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

5. Declaration

☐ I understand that this application may *only* be made with the owner's approval (tick to indicate agreement)

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004. The code compliance certificate should be sent to:

☒ Owner ☐ Agent ☒ Owner address as per Section 2 ☐ Agent address as per Section 2

Name:	Ioni Evans
Signature:	
Date:	2/3/21

You can add a digital signature to this document, either using Adobe or your existing digital signature.

Once you have filled out the form, including signatures, please save the application to your computer. You can then submit the application with supporting documentation to your local council.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).

Form 7

Code compliance certificate

Section 95, Building Act 2004

The building

Street address of building: 31 Pineview Way, Motueka Valley
 Legal description of land where building is located: LOT 10 DP 519728
 Building name: N/A
 Location of building within site/block number: 31 Pineview Way, Motueka Valley
 Level/unit number: N/A
 Current, lawfully established, use: 2.0 Housing:
 2.0.2 Detached Dwelling
 Year first constructed: 2019

The owner

Name of owner: Samuel McLeod and Toni Evans
 Contact person: Toni
 Mailing address: PO Box 316, Motueka
 Street address/registered office: N/A
 Phone number: Landline: N/A Mobile: 0211103643
 Daytime: Landline: N/A Mobile: 0211103643
 After hours: Landline: N/A Mobile: 0211103643
 Facsimile number: No information provided
 Email address: themotlot@gmail.com
 Website: No information provided
 First point of contact for communications with the council/building consent authority:
 Greg Benjamin; Mailing Address: 30 Citrus Lane
 Enner Glynn
 Nelson 7011; Mobile: 0211449153; Email: gregsdsgn@outlook.com

Building work

Building consent number: BC200322
 Description: Addition of bathroom to sleepout
 Issued by: Tasman District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -
 the building work complies with the building consent.

Richmond Grant

Position: Building Inspector

On behalf of: Tasman District Council

Date: 11 March 2021

Project ID: 200322
Date Received: 2020-04-06 07:35:08
Sender: gregsdesign@outlook.com
Checked By: Debbie Woodley
Accepted By: Debbie Woodley
Subject:

Information Received Via Email: Re: BC200322.1 Request For Further Information - Vetting - 31 Pineview Way, Motueka Valley

Message:

Hi Debbie,

The email address for the owners;

themotlot@gmail.com

I have asked the owner to pay the deposit of \$500 to TDC.

Thanks

Greg

From: Tasman District Council <200322@tasman.abcs.co.nz>

Sent: Friday, 3 April 2020 11:15 AM

To: gregsdesign@outlook.com <gregsdesign@outlook.com>

Subject: BC200322.1 Request For Further Information - Vetting - 31 Pineview Way, Motueka Valley

Dear Sir/Madam,

Thank you for your building consent application. We have reviewed it for completeness and we need some more information before we can formally accept your application. We have detailed the information we need in the attached letter.

Please respond by replying to this email, which will link your response to your application ensuring it receives prompt attention.

Ensure all items are addressed in a single response, and that this includes:

- 1 A covering note outlining the response to each item
- 2 Files that are in PDF format and to scale
- 3 Only provide information specifically relating to this project

Your application for building consent requires a deposit of \$500.00 or the actual charge whichever is the lesser amount. If your total fee at the end of the process is less than the deposit you have paid, a refund will be processed.

Refer to our fees and charges

<https://www.tasman.govt.nz/my-property/building-and-alteration/building-consents/learn-about-building-consents/forms-and-fees/>.

The deposit should be paid directly to the following bank account:

Name: Tasman District Council

Bank: ASB Bank, Richmond

Account: 12-3193-0002048-03 (or -003 if your bank requires a three digit suffix)

Reference: Please use your consent number listed above "BC200322".

Without this reference we will not be able to identify which application you are paying for. Alternatively, you can make the payment at any Tasman District Council Office.

We send a copy of all correspondence to the Owner of the property for their records. If you are using an Agent or First Point of Contact it is expected that they will manage the building consenting process, and respond to any requests.

Regards

Debbie Woodley

Building Support Officer - Building Assurance

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>



Email #22956: BC200322

Project ID: 200322
Date Received: 2020-04-29 16:30:02
Sender: helen.lawton@tasman.govt.nz
Checked By: Lori Marevich
Accepted By: Lori Marevich
Subject:

Information Received Via Email: RE: BC200322: 31 Pineview Way, Motueka Valley

Message:

Hi Lori

NZS1547 is based on bedrooms and if there is a WW report showing it was considered then all ok to accept.

Home schooling teenagers is not much fun ?.

Thanks

Helen Lawton

Senior Building Technical Officer

DDI 03 543 8973 | Helen.Lawton@tasman.govt.nz<mailto:Helen.Lawton@tasman.govt.nz>

Private Bag 4, Richmond 7050, NZ

[Logo]<<https://www.tasman.govt.nz>>

[Facebook]<<https://www.facebook.com/tasmandistrictcouncil>> [Twitter] <<http://www.twitter.com/tasmandc>>

This e-mail message and any attached files may contain confidential information, and may be subject to legal professional privilege. If you are not the intended recipient, please delete.

Due to the increased Covid-19 Alert Level, responses to enquires to Council staff may be delayed. We appreciate your understanding during this period and urge you to follow guidance from the Government at <https://covid19.govt.nz/> and to keep safe and be kind to each other.

From: Tasman District Council <200322@tasman.abcs.co.nz>

Sent: Wednesday, 29 April 2020 3:08 pm

To: Helen Lawton <Helen.Lawton@tasman.govt.nz>

Subject: BC200322: 31 Pineview Way, Motueka Valley

Hi Helen,

Just going through the preliminaries on this one.

I note it has 'onsite wastewater'. The report from the original commissioning has been provided, and shows that the

system was suitably sized for the sleepout. They are only proposing to add a bathroom to an existing sleepout, with no change to occupancy noted.

Given CCC was only issued early this year (march 2020) are you happy for me to just accept that the system is suitably sized, and likely to still be functioning well?

It seems a bit of overkill to send it to a WW specialist when there is no change to occupancy, or WW system - just a new bathroom discharging to it.

I'm about to sign off for the day (yay home school, honest, its so much fun) but will be finishing this one off tomorrow.

Cheers,

Lori Marevich

Building Technical Officer - Contractor

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W:

<http://www.tasman.govt.nz>

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This message is for the designated recipient(s) only, and may contain confidential and/or privileged information. If you have received it in error, please delete it and advise the sender immediately. You should not copy or use it for any other purpose, nor disclose its contents to any other person.

Designated Recipient(s): Helen.lawton@tasman.govt.nz

Sent From: AlphaOne Building Consent System

Sent Date: 29 April 2020 15:08:17 pm - Wednesday

REJECTED ATTACHMENT(S):

Note: The listed file(s) below were rejected because they were not in PDF format.

- image3c9e82.JPG

- image9bc259.PNG

- image84572d.PNG

Project ID: 200322
Date Received: 2020-05-01 09:20:03
Sender: gregsdesign@outlook.com
Checked By: Lori Marevich
Accepted By: Lori Marevich
Subject:

Information Received Via Email: Re: BC200322.1 Request For Further Information - 31 Pineview Way, Motueka Valley

Message:

Hi,

Please find attached amended pages and a written response to this request for further information.

Thanks

Greg Benjamin

From: Tasman District Council <200322@tasman.abcs.co.nz>

Sent: Thursday, 30 April 2020 12:14 PM

To: gregsdesign@outlook.com <gregsdesign@outlook.com>; themotlot@gmail.com <themotlot@gmail.com>

Subject: BC200322.1 Request For Further Information - 31 Pineview Way, Motueka Valley

Dear Sir/Madam,

Thank you for your building consent application. We have reviewed it and we need some more information to make sure the proposed work meets the requirements of the Building Act 2004. We have detailed the information we need in the attached letter.

Please respond through the AlphaOne portal by replying to this email, which will link your response to your application ensuring it receives prompt attention.

Ensure all items are addressed in a single response, and that this includes:

- A covering note outlining the response to each item
- Revised documents that clearly identify changes
(e.g. referenced by revision clouds and document versions)
- Files that are in PDF format and to scale
- Only provide information specifically relating to this project

We send a copy of all correspondence to the Owner of the property for their records. If you are using an Agent or First Point of Contact it is expected that they will manage the building consenting process, and respond to any

requests.

Regards,

Lori Marevich

Building Technical Officer - Contractor

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>

ATTACHMENTS:

- B-DRAINAGE-2-SLEEPOUT-R1.pdf

- C-FLOOR ELEVATIONS-SLEEPOUT-3-R1.pdf

- RFI-sleepout.pdf



Email #34454: BC200322

Project ID: 200322
Date Received: 2021-01-28 15:15:04
Sender: themotlot@gmail.com
Checked By: Kate Guthrie
Accepted By: Kate Guthrie
Subject:

Information Received Via Email: Re: BC200322: 31 Pineview Way, Motueka Valley - AlphaOne Access

Message:

Hi Kate - I do t understand sorry how am I to access it? Thanks, toni

On Thu, 28 Jan 2021 at 2:58 PM Tasman District Council <200322@tasman.abcs.co.nz> wrote:

> Good afternoon Tony,
 >
 > I have granted you access to your application as requested.
 >
 > Kind regards,
 >
 >
 >
 > Kate Guthrie
 > Building Support Officer - Building Assurance
 > Tasman District Council
 > 189 Queen Street, Richmond
 > <<https://www.google.com/maps/search/189+Queen+Street,+Richmond?entryail&source=g>>
 > 7020
 > P: 03 543 8400 | E: building.support@tasman.govt.nz | W:
 > <http://www.tasman.govt.nz>
 > -----
 >
 > -----
 > *DISCLAIMER*
 > This message is for the designated recipient(s) only, and may contain
 > confidential and/or privileged information. If you have received it in
 > error, please delete it and advise the sender immediately. You should not
 > copy or use it for any other purpose, nor disclose its contents to any
 > other person.
 >
 > Designated Recipient(s): themotlot@gmail.com

> Sent From: AlphaOne Building Consent System
> Sent Date: 28 January 2021 14:58:16 pm - Thursday

--

Toni Evans & Sam McLeod
Dreamteam Ltd.
0211103643



Email #35701: BC200322

Project ID: 200322
Date Received: 2021-03-03 09:30:10
Sender: building.support@tasman.govt.nz
Checked By: Kelli Isle
Accepted By: Sarah Jones
Subject: Information Received Via Email: FW: Bc 200322
Message:

The Building Assurance Team

Private Bag 4, Richmond 7050, NZ

Tasman District Council use the AlphaOne system. It will allow you to submit and track applications, including building consents, certificate of acceptances, exemptions and code compliance certificates.

This e-mail message and any attached files may contain confidential information, and may be subject to legal professional privilege. If you are not the intended recipient, please delete

?

From: Toni Evans <themotlot@gmail.com>

Sent: Tuesday, 2 March 2021 10:48 pm

To: Building Support <building.support@tasman.govt.nz>

Subject: Bc 200322

[cid:177f25573fb3c554f611]

[cid:177f2557ed1f1ab2a602]

--

Toni Evans & Sam McLeod

Dreamteam Ltd.

0211103643

REJECTED ATTACHMENT(S):

Note: The listed file(s) below were rejected because they were not in PDF format.

- image033252.jpg

- image536576.png

- image629957.png

ATTACHMENTS:

- IMG_5129.jpg.pdf

- IMG_5128.jpg.pdf

**Email #79571: BC200322**

Project ID: 200322
Date Sent: 2020-04-03 11:15:44
Recipient: gregsdesign@outlook.com
Sender: Debbie Woodley
Subject:

BC200322.1 Request For Further Information - Vetting - 31 Pineview Way, Motueka Valley

Message:

Dear Sir/Madam,

Thank you for your building consent application. We have reviewed it for completeness and we need some more information before we can formally accept your application. We have detailed the information we need in the attached letter.

Please respond by replying to this email, which will link your response to your application ensuring it receives prompt attention.

Ensure all items are addressed in a single response, and that this includes:

- 1 A covering note outlining the response to each item
- 2 Files that are in PDF format and to scale
- 3 Only provide information specifically relating to this project

Your application for building consent requires a deposit of \$500.00 or the actual charge whichever is the lesser amount. If your total fee at the end of the process is less than the deposit you have paid, a refund will be processed. Refer to our fees and charges

<https://www.tasman.govt.nz/my-property/building-and-alteration/building-consents/learn-about-building-consents/forms-and-fees/>.

The deposit should be paid directly to the following bank account:

Name: Tasman District Council

Bank: ASB Bank, Richmond

Account: 12-3193-0002048-03 (or -003 if your bank requires a three digit suffix)

Reference: Please use your consent number listed above "BC200322".

Without this reference we will not be able to identify which application you are paying for. Alternatively, you can make the payment at any Tasman District Council Office.

We send a copy of all correspondence to the Owner of the property for their records. If you are using an Agent or First Point of Contact it is expected that they will manage the building consenting process, and respond to any

requests.

Regards

Debbie Woodley

Building Support Officer - Building Assurance

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>

**Email #79677: BC200322**

Project ID: 200322
Date Sent: 2020-04-06 07:35:09
Recipient: gregsdesign@outlook.com
Sender: AlphaOne System
Subject:

RE: Re: BC200322.1 Request For Further Information - Vetting - 31 Pineview Way, Motueka Valley

Message:

Hello

Thank you for your message regarding your application with Tasman District Council. This is an automated response to confirm your message has been received by the assigned officer for review.

Below is a list of the accepted and rejected attachments. We accept email attachments in PDF, JPG and PNG format.

For further information or enquiries please email 200322@tasman.abcs.co.nz.

We acknowledge the difficult time that everyone is experiencing with the COVID-19 pandemic moving to alert level 4. We have put measures in place to continue to provide services where we can, however Building Assurance has been deemed a non-essential service and our office is now closed.

Where possible Building Assurance staff will be working from home, this included Administration, Consent Processors and Inspectors. We will continue to process queries, correspondence, required documents and new applications.

Building site inspections have stopped from mid-day on Wednesday 25th March in line with the alert level. Anyone that has a current booking for after this time won't lose their place in the queue and will be rescheduled for when we are able to reopen this service. However, due to the uncertainty of the situation, we will not be taking any new bookings until the alert level is reduced. Please contact us if your building work is deemed an essential service.

For more information about what alert level 4 means for the building and construction sector, please visit the TDC website and <https://www.building.govt.nz/covid-19>.

Any further queries, please contact our Building Assurance Manager, Ian McCauley via email ian.mccauley@tasman.govt.nz.

Kind regards

Tasman District Council

189 Queen Street
Richmond 7020
<http://www.tasman.govt.nz>



Email #79719: BC200322

Project ID: 200322
Date Sent: 2020-04-06 10:20:47
Recipient: debbie.woodley@tasman.govt.nz
Sender: Marise Bainbridge
Subject: BC200322: A new email has been allocated to you
Message:

Hello Debbie Woodley,

A new email for BC200322 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/200322/communication/?optilbox>

— AlphaOne System

**Email #79851: BC200322**

Project ID: 200322
Date Sent: 2020-04-06 17:00:07
Recipient: gregsdesign@outlook.com
Sender: AlphaOne System
Subject: Application Accepted
Message:

Dear Sir/Madam,

Your application for Building Consent only with reference code BC200322 (31 Pineview Way, Motueka Valley) has passed vetting and has been accepted by Tasman District Council for processing.

If you entered an electronic application you can track its progress on the customer portal
<https://consents-topofthesouth.abcs.co.nz/>.

We send a copy of all correspondence to the Owner of the property for their records. If you are using an Agent or First Point of Contact it is expected that they will manage the building consenting process, and respond to any requests.

Your applications may attract development contributions. If you are unsure about this, please contact
DC.Admin@tasman.govt.nz

Regards,

Tasman District Council



Email #79931: BC200322

Project ID: 200322
Date Sent: 2020-04-07 10:16:49
Recipient: krista.hobday@tasman.govt.nz
Sender: Helen Lawton
Subject: BC200322: A new job for you
Message:

Hello Krista Hobday,

BC200322 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/200322>

— AlphaOne System



Email #81999: BC200322

Project ID: 200322
Date Sent: 2020-04-28 12:50:18
Recipient: focus.consultancynz@gmail.com
Sender: Helen Lawton
Subject: BC200322: A new job for you
Message:

Hello Focus Consultancy Group,

BC200322 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/200322>

— AlphaOne System



Email #82264: BC200322

Project ID: 200322
Date Sent: 2020-04-29 14:10:01
Recipient: focus.consultancynz@gmail.com
Sender: Lori Marevich
Subject: BC200322: A new job for you
Message:

Hello Lori Marevich,

BC200322 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/200322>

— AlphaOne System

Project ID: 200322
Date Sent: 2020-04-29 15:08:19
Recipient: Helen.lawton@tasman.govt.nz
Sender: Lori Marevich
Subject: BC200322: 31 Pineview Way, Motueka Valley
Message:

Hi Helen,

Just going through the preliminaries on this one.

I note it has 'onsite wastewater'. The report from the original commissioning has been provided, and shows that the system was suitably sized for the sleepout. They are only proposing to add a bathroom to an existing sleepout, with no change to occupancy noted.

Given CCC was only issued early this year (march 2020) are you happy for me to just accept that the system is suitably sized, and likely to still be functioning well?

It seems a bit of overkill to send it to a WW specialist when there is no change to occupancy, or WW system - just a new bathroom discharging to it.

I'm about to sign off for the day (yay home school, honest, its so much fun) but will be finishing this one off tomorrow.

Cheers,

Lori Marevich
Building Technical Officer - Contractor
Tasman District Council
189 Queen Street, Richmond 7020
P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>

**Email #82314: BC200322**

Project ID: 200322
Date Sent: 2020-04-29 16:30:03
Recipient: helen.lawton@tasman.govt.nz
Sender: AlphaOne System
Subject: RE: RE: BC200322: 31 Pineview Way, Motueka Valley

Message:

Hello

Thank you for your message regarding your application with Tasman District Council. This is an automated response to confirm your message has been received by the assigned officer for review.

Below is a list of the accepted and rejected attachments. We accept email attachments in PDF, JPG and PNG format.

REJECTED ATTACHMENTS:

- image3c9e82.JPG (8.26kB)
- image9bc259.PNG (1.35kB)
- image84572d.PNG (1.48kB)

For further information or enquiries please email 200322@tasman.abcs.co.nz.

We acknowledge the difficult time that everyone is experiencing with the COVID-19 pandemic moving to alert level 4. We have put measures in place to continue to provide services where we can, however Building Assurance has been deemed a non-essential service and our office is now closed.

Where possible Building Assurance staff will be working from home, this includes Administration, Consent Processors and Inspectors. We will continue to process queries, correspondence, required documents and new applications.

Building site inspections have stopped from mid-day on Wednesday 25th March in line with the alert level. Anyone that has a current booking for after this time won't lose their place in the queue and will be rescheduled for when we are able to reopen this service. However, due to the uncertainty of the situation, we will not be taking any new bookings until the alert level is reduced. Please contact us if your building work is deemed an essential service.

For more information about what alert level 4 means for the building and construction sector, please visit the TDC website and <https://www.building.govt.nz/covid-19>.

Any further queries, please contact our Building Assurance Manager, Ian McCauley via email ian.mccauley@tasman.govt.nz.

Kind regards

Tasman District Council
189 Queen Street
Richmond 7020
<http://www.tasman.govt.nz>



Email #82373: BC200322

Project ID: 200322
Date Sent: 2020-04-30 10:08:51
Recipient: focus.consultancynz@gmail.com
Sender: Marise Bainbridge
Subject: BC200322: A new email has been allocated to you
Message:

Hello Lori Marevich,

A new email for BC200322 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/200322/communication/?optilbox>

— AlphaOne System

Project ID: 200322
Date Sent: 2020-04-30 12:14:11
Recipient: gregsdesign@outlook.com, themotlot@gmail.com
Sender: Lori Marevich
Subject:

BC200322.1 Request For Further Information - 31 Pineview Way, Motueka Valley

Message:

Dear Sir/Madam,

Thank you for your building consent application. We have reviewed it and we need some more information to make sure the proposed work meets the requirements of the Building Act 2004. We have detailed the information we need in the attached letter.

Please respond through the AlphaOne portal by replying to this email, which will link your response to your application ensuring it receives prompt attention.

Ensure all items are addressed in a single response, and that this includes:

- A covering note outlining the response to each item
- Revised documents that clearly identify changes
(e.g. referenced by revision clouds and document versions)
- Files that are in PDF format and to scale
- Only provide information specifically relating to this project

We send a copy of all correspondence to the Owner of the property for their records. If you are using an Agent or First Point of Contact it is expected that they will manage the building consenting process, and respond to any requests.

Regards,

Lori Marevich
Building Technical Officer - Contractor
Tasman District Council
189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>

Project ID: 200322
Date Sent: 2020-05-01 09:20:04
Recipient: gregsdesign@outlook.com
Sender: AlphaOne System
Subject:

RE: Re: BC200322.1 Request For Further Information - 31 Pineview Way, Motueka Valley

Message:

Hello

Thank you for your message regarding your application with Tasman District Council. This is an automated response to confirm your message has been received by the assigned officer for review.

Below is a list of the accepted and rejected attachments. We accept email attachments in PDF, JPG and PNG format.

ACCEPTED ATTACHMENTS:

- B-DRAINAGE-2-SLEEPOUT-R1.pdf (98.79kB)
- C-FLOOR ELEVATIONS-SLEEPOUT-3-R1.pdf (116.26kB)
- RFI-sleepout.pdf (223.31kB)

For further information or enquiries please email 200322@tasman.abcs.co.nz.

We acknowledge the difficult time that everyone is experiencing with the COVID-19 pandemic moving to alert level 4. We have put measures in place to continue to provide services where we can, however Building Assurance has been deemed a non-essential service and our office is now closed.

Where possible Building Assurance staff will be working from home, this includes Administration, Consent Processors and Inspectors. We will continue to process queries, correspondence, required documents and new applications.

Building site inspections have stopped from mid-day on Wednesday 25th March in line with the alert level. Anyone that has a current booking for after this time won't lose their place in the queue and will be rescheduled for when we are able to reopen this service. However, due to the uncertainty of the situation, we will not be taking any new bookings until the alert level is reduced. Please contact us if your building work is deemed an essential service.

For more information about what alert level 4 means for the building and construction sector, please visit the TDC website and <https://www.building.govt.nz/covid-19>.

Any further queries, please contact our Building Assurance Manager, Ian McCauley via email

ian.mccauley@tasman.govt.nz.

Kind regards

Tasman District Council
189 Queen Street
Richmond 7020
<http://www.tasman.govt.nz>

**Email #82645: BC200322**

Project ID: 200322
Date Sent: 2020-05-01 12:56:16
Recipient: themotlot@gmail.com, gregsdsgn@outlook.com
Sender: Debbie Woodley
Subject:

BC200322.1 Form 5: Building Consent - 31 Pineview Way, Motueka Valley

Message:

Dear Sir/Madam,

Please find attached the copy of your granted Form 5: Building Consent and invoice copy.

Your building consent documents are available to download from our customer portal. To access these:

- 1) click link, or enter the following link into your internet web browser: <https://consents-topofthesouth.abcs.co.nz/>
- 2) click on the BC section of your consent applications progress bar
- 3) on the blue menu bar, click on Documents, then View Documents Issued
- 4) click on BC200322.pdf, select Save File
- 5) select where you would like to save this documentation to, and then click on save

Your files will be downloaded and available for you to save locally and use.

We send a copy of all correspondence to the Owner of the property for their records. If you are using an Agent or First Point of Contact it is expected that they will manage the building consenting process, and respond to any requests.

Regards,

Debbie Woodley
Building Support Officer - Building Assurance
Tasman District Council
189 Queen Street, Richmond 7020
P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>



Email #128714: BC200322

Project ID: 200322
Date Sent: 2021-01-28 14:58:17
Recipient: themotlot@gmail.com
Sender: Kate Guthrie
Subject:
BC200322: 31 Pineview Way, Motueka Valley - AlphaOne Access

Message:

Good afternoon Tony,

I have granted you access to your application as requested.

Kind regards,

Kate Guthrie

Building Support Officer - Building Assurance

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>



Email #128719: BC200322

Project ID: 200322
Date Sent: 2021-01-28 15:15:05
Recipient: themotlot@gmail.com
Sender: AlphaOne System
Subject:

RE: Re: BC200322: 31 Pineview Way, Motueka Valley - AlphaOne Access

Message:

Hello

Thank you for your message regarding your application with Tasman District Council. This is an automated response to confirm your message has been received by the assigned officer for review.

For further information or enquiries please email 200322@tasman.abcs.co.nz.

Kind regards

Tasman District Council
189 Queen Street
Richmond 7020
<http://www.tasman.govt.nz>



Email #129070: BC200322

Project ID: 200322
Date Sent: 2021-02-02 13:01:08
Recipient: buildinginspectors@tasman.govt.nz
Sender: Nikii Steele
Subject: BC200322: A new Document for you
Message:

Hello Duty Building Inspectors,

Documents on BC200322 have been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/200322>

— AlphaOne System



Email #134166: BC200322

Project ID: 200322
Date Sent: 2021-03-03 14:56:39
Recipient: Reception.Takaka@tasman.govt.nz
Sender: Kate Guthrie
Subject: BC200322: A new email has been allocated to you
Message:

Hello Takaka Reception,

A new email for BC200322 has been allocated to you. Please check and take appropriate action.

<https://tasman.abcs.co.nz/jobs/200322/communication/?optilbox>

— AlphaOne System



Email #134209: BC200322

Project ID: 200322
Date Sent: 2021-03-03 15:54:29
Recipient: themotlot@gmail.com
Sender: Sarah Jones
Subject: BC200322: 31 Pineview Way, Motueka Valley

Message:

Hi Toni,

Thank you for your Code of Compliance application for 31 Pineview Way.

Your final inspection has been booked for Thursday 11th March 2021

The building inspector will contact you within 24 hours of this date to confirm an approximate time to meet at the property.

Kind regards

Sarah Jones

Customer Service Officer - Takaka

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>



Email #135008: BC200322

Project ID: 200322
Date Sent: 2021-03-08 16:19:26
Recipient: themotlot@gmail.com
Sender: AlphaOne System

Subject:

BC200322: Document Rejected | Address: 31 Pineview Way, Motueka Valley

Message:

Dear Toni Evans,

The following document for BC200322 has been rejected for the following reasons: The ESC (electrical safety cert) part of this document has been omitted from the photo, please supply full CoC & ESC doc.

Document Name: 2BEB4711-3E85-47A0-BAC1-17D48E232303.jpeg.pdf

Regards,

Tasman District Council

03 543 8400 | building.support@tasman.govt.nz | <http://www.tasman.govt.nz>



Email #135644: BC200322

Project ID: 200322
Date Sent: 2021-03-11 09:57:07
Recipient: themotlot@gmail.com
Sender: Richmond Grant
Subject: BC200322 Inspection Report
Message:

Our inspection team have carried out a site inspection on the above project today, please find attached the inspectors site notice for your information.

The AlphaOne system has the ability to mark the inspection record as a Pass or Fail, this is to ensure an accurate record is maintained of outstanding work or documents that is required to be completed or provided. The Inspector will discuss the inspection outcome and expectations with the onsite contact during the inspection.

If you have any queries regarding the content of the site notice please contact Tasman District Council on 03 543 8400.

Regards,



Email #135648: BC200322

Project ID: 200322
Date Sent: 2021-03-11 10:03:59
Recipient: themotlot@gmail.com
Sender: Richmond Grant

Subject:

BC200322.1 Form 7: Code Compliance Certificate - 31 Pineview Way, Motueka Valley

Message:

Dear Sir/Madam,

Please find attached a copy of your code compliance certificate for BC200322.

If you have any questions please contact Tasman District Council on 03 543 8400.

Regards

Richmond Grant

Building Inspector

Tasman District Council

189 Queen Street, Richmond 7020

P: 03 543 8400 | E: building.support@tasman.govt.nz | W: <http://www.tasman.govt.nz>

Blog ID: 184913**Author:** Debbie Woodley**Created:** 2020-04-02 16:25:22

Notes: woodld has updated the complexity for this consent from "Unknown" to "R1 Complexity: Detached Dwelling"

Blog ID: 184955**Author:** Debbie Woodley**Created:** 2020-04-03 11:16:00

Notes: Assets Input:N/A, internal alts only

Blog ID: 185130**Author:** Debbie Woodley**Created:** 2020-04-06 16:15:35

Notes: Have left DC and RMA check open for this job. I dont think the addition will necessarily class it as second dwelling but leaving open to be sure.

Blog ID: 194724**Author:** System**Created:** 2020-04-25 03:21:26

Notes: Covid-19 Site Inspection Check

- If you are feeling unwell - do not attend site.
- Sanitise Hands
- Put on PPE
- Clean Equipment that is to be taken on site
- Upon Request Provide Site Manager with your Covid-19 Plan
- Sign the Site Register - All people entering the site must do this (tip - photograph site register)
- Complete Site Induction

- Follow Site Protocols maintaining Physical Distancing at all times
- While on site consider the Durability of Exposed Materials
- On completion Sign Out and Sanitise Hands
- Clean Equipment on completion of inspection
- To assist tracking Maintain a Record of Daily Contacts.

<https://www.building.govt.nz/covid-19/get-prepared-for-working-at-alert-level-3>

Blog ID: 195211
Author: Lori Marevich
Created: 2020-05-01 10:48:36
Notes: Lori Marevich added 'BC Issue Awaiting Invoice' block for the following reason: Invoice Due

Blog ID: 195212
Author: Lori Marevich
Created: 2020-05-01 10:48:36
Notes: Lori Marevich added 'CCC Issue Other' block for the following reason: CCC Not Ready

Blog ID: 195213
Author: Lori Marevich
Created: 2020-05-01 10:48:36
Notes: Lori Marevich added 'Inspections BC Not Granted/Issued' block for the following reason:
Building Consent can be granted and issued on payment of the appropriate fees and levies.

Blog ID: 195214
Author: Lori Marevich
Created: 2020-05-01 10:48:36
Notes: Lori Marevich added 'Inspections Other' block for the following reason: RMA has not been completed

Blog ID: 195247
Author: Debbie Woodley
Created: 2020-05-01 12:51:20
Notes: Debbie Woodley removed 'Inspections Other' block for the following reason: RMA tab complete (green)

Blog ID: 195248
Author: Debbie Woodley
Created: 2020-05-01 12:53:08
Notes: Comment from DC was this remains a sleepout with WC so no change. Not charging RMA check.

Blog ID: 195249
Author: Debbie Woodley
Created: 2020-05-01 12:54:32
Notes: Debbie Woodley removed 'BC Issue Awaiting Invoice' block for the following reason: Invoiced and issued

Blog ID: 195250
Author: Debbie Woodley
Created: 2020-05-01 12:55:40
Notes: Debbie Woodley removed 'Inspections BC Not Granted/Issued' block for the following reason: BC is now granted and issued

Blog ID: 229049
Author: Sarah Jones
Created: 2021-03-03 15:19:58

Notes: I have uploaded the Application for CCC - Paper (3 March 2021)

Blog ID: 229050

Author: Sarah Jones

Created: 2021-03-03 15:19:58

Notes: Sarah Jones made a decision to start the CCC clock for the following reason: CCC Application received

Blog ID: 230073

Author: Richmond Grant

Created: 2021-03-11 09:57:46

Notes: Richmond Grant removed 'CCC Issue Other' block for the following reason: NA

Blog ID: 230075

Author: Richmond Grant

Created: 2021-03-11 10:02:11

Notes: Richmond Grant added 'CCC Issue Awaiting Invoice' block for the following reason: Invoice Due

Blog ID: 230076

Author: Richmond Grant

Created: 2021-03-11 10:02:26

Notes: Richmond Grant removed 'CCC Issue Awaiting Invoice' block for the following reason: na

Blog ID: 230169

Author: System

Created: 2021-03-12 02:43:14

Notes: API added 'Project at End Other' block for the following reason: System set this project as read-only as the project is at end.

Blog ID: 327245

Author: System

Created: 2022-10-05 17:35:14

Notes: API removed 'Project at End Other' block for the following reason: Unarchived to recompile project documents (2022-10-05 17:35:14).

Blog ID: 327369

Author: System

Created: 2022-10-06 02:46:25

Notes: API added 'Project at End Other' block for the following reason: System set this project as read-only as the project is at end.

Blog ID: 333380

Author: System

Created: 2022-10-24 18:34:53

Notes: API removed 'Project at End Other' block for the following reason: Unarchived to recompile project documents (2022-10-24 18:34:53).
